

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

John Kerr – Chair
David Nollner – Vice Chair
Mary Ann Baker – Sec

Rhonda Keisling
Carol Pruitt
Sarah Murray

David Thomas
Mark Swaffer
Thomas Harper

JULY 11, 2022 | 7:00PM | TC COURTHOUSE

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting June 13, 2022
Called meeting June 22, 2022

APPROVAL/CHANGES TO THE AGENDA

PUBLIC HEARING

OLD BUSINESS

- Sketch Plat by Fleming Homes LLC for Freedom Farms Subdivision of 16.21 acres on Temprow Rd and Bass Rd (Map 16 Parcel 24.05) for 6 lots in the 5th Civil District.
- Site Plan by Michael Woodard for Front Street Mini-Storage of 5.62 acres on Front Street (Map 027B Group A Parcel 019.00) for Mini Storage Units in the 7th Civil District.
- Site Plan amendment by Jesse Peters for Front Street Apartments of 0.54 acres on Front Street (Map 27B Group A Parcel 010.00) for apartments in the 7th Civil District
- Site Plan by Hunters Point Quarry LLC for the LaLance Property of 147.55 acres at 1250 Hwy 231 S (Map 041 Parcels 06.00, 05.01, 05.02) for mining and quarrying activities in the 6th Civil District.

NEW BUSINESS

Rezoning

- Request by Ron Moreland for the rezoning of 0.21 acres on Stott ST, (Map 027B Group A Parcel 037.00) from R-2 to R-3 for building a townhouse in the 7th Civil District.
- Request by Ron Moreland for the rezoning of 0.09 acres on 108 Morrison ST, (Map 027B Group A Parcel 037.01) from R-2 to R-3 for building a townhouse in the 7th Civil District.
- Request by 113 Planters Street LLC for rezoning of 2.13 acres on Harpers Ave (Map 019K Group B Parcel 24.03) from R-3 to I-1 for an addition to adjoining business in the 7th Civil District

Plat & Site Approvals

- Site Plan Approval for Fast Pace Health by R&C Enterprises of 4.09 acres off Hwy 25 W and Thoroughbred LN (Map 019 Parcel 16.08) for a medical clinic in the 7th Civil District.
- Site Plan Approval for Cedarbrook Townhomes addition by Oldham Enterprises of 7.15 acres on New Halltown RD (Map 019M Group A Parcel 1.00) for 4 Triplexes totaling 12 townhomes in the 7th Civil District.

DISCUSSION TOPICS

REPORT FROM CHAIRMAN

REPORT FROM BUILDING INSPECTOR

	Residence	Residence	Res Fees	Accessory	Access	Commercial	Commercial Fees
June	No. of	Total Sq Feet	Permit Impact	Permits	Permit	Permits	Permit Impact
	Permits				Fees		
2021	18	37,249	\$25K \$26K	5	\$3K	0	0
2022	12	20,248	\$15K \$15K	8	\$2K	3	\$9K \$7K
May 2022	16	36,165	\$24K \$38K	11	\$36K	0	0

CLOSING REMARKS FROM THE CHAIR AND COMMISSION

ADJOURN

Hartsville/Trousdale Planning Commission Regular Meeting

Meeting Minutes

June 13, 2022 - 7:00 P.M. – Trousdale County Courthouse – 2nd Floor Courtroom

Present: John Kerr, David Nollner, Rhonda Keisling, Thomas Harper, David Thomas, Mark Swaffer, Mary Ann Baker, Carol Pruitt, Sarah Murray and Sam Edwards.

Absent: N/A

Others Present: Kealan Millies-Lucke (GNRC), Carroll Carman, Jim Carman, Greg Barton, Jerry Helm, Rosalie Myhan, Joshua Denton, Becky Johnson, Nelson Gregory Armstrong, Michelle Wright, Jon Kelley, Paul Phillips, Kevin Graves and several Citizen's

Roll Call

Chairman Kerr called the meeting to order at 7:00 P.M. and Secretary Baker conducted a roll call. Chairman Kerr introduced Kealan Millies-Lucke with GNRC who is the new planner for Trousdale County.

Approval of Minutes

Chairman Kerr asked for review of the May 9, 2022 meeting. David Nollner made a motion to approve the minutes.

Mark Swaffer commented that since he had made the motion to send ordinance #243-2022-13 which amended the Zoning Resolution to allow mining in the A-1 and M-2 Districts to the County Commission he would like to rescind that motion stating that he had missed that the resolution included A-1 District and that the Commission had not taken action on the ordinance yet.

Chairman Kerr asked for clarification and was advised by Mayor Chambers that the approval of minutes was just to confirm that the minutes were a correct account of how the previous meeting proceeded and other actions could be added to the agenda.

Sarah Murray seconded the motion to approve the minutes as presented.

MOTION CARRIED

Changes to the Agenda

Mark Swaffer made a motion to add rescinding Ordinance # 243-2022-13 to the agenda under Old Business, Seconded by Thomas Harper.

MOTION FAILED 5/4

No – Kerr, Thomas, Keisling, Murray and Baker / Yes – Swaffer, Harper, Nollner, Pruitt

Chairman Kerr noted that Site Plan by Michael Woodard had been moved to the July meeting and Site Plan should be Plot Plan by Hunters Point Quarry. Sarah Murray made a motion to approve the agenda, Seconded by David Thomas.

MOTION CARRIED

Chairman Kerr then asked since there were such a large number of Citizens wanting to speak on the same topic (Quarry) if they could select a few to speak for all, several Citizens left the courtroom to discuss downstairs and the meeting continued.

Public Hearing

N/A

Old Business

N/A

New Business

- *Request by Gene Carman Estate for the rezoning of 5.01 acres on Hwy 25 W. (Map 18 Parcel 20.08) from C-2 to R-1 for subdividing into 2 Residential lots in the 7th Civil District.*

Carroll Carman advised that the property is currently zoned commercial and the property owners would like to divide the 5-acre tract into 2 tracts in order to build 2 homes on it.

Jerry Helm, who is an adjoining property owner spoke in favor of the request.

Kealan (GNRC) noted that the property is along Hwy 25 which is considered an arterial road, it is serviced by Hartsville/Trousdale Water & Sewer Utility district and not in a Special Flood Hazard Area. She went over the permitted uses and does not appear to have any significant steep slopes greater than 15-20%. Since this property is well over 1 acre the rezoning would not be considered spot zoning if approved.

Carroll Carman advised that the property owners would put restrictions in the deed preventing no more than 2 homes to be built. Sam Edwards advised members that the intent was not loose commercial property however this property is a 5-acre lot and A-1 could also be considered as most of the other properties in the area are 5 acre lots which are typical A-1 lot sizes.

Mary Baker questioned the lot size requirements in the R-1 zoning districts and how many homes could be built if rezoned R-1 and was advised that was not the intent of the owners. David Thomas made a motion to approve the request. Seconded by Rhonda Keisling.

MOTION CARRIED
8 Yes/1 No Sarah Murray

- *Request by Greg Barton for the rezoning of 5.34 acres on Thoroughbred Lane (Map 019G Group a Parcel 017-00, Map 019B Group a Parcels 067.00 and 064.00) from A-1 to R-1 to bring the lots compliant in the 4th Civil District.*

Property owner Greg Barton advised members that while having his property looked at it was discovered that these lots were zoned incorrectly as A-1 instead of R-1 and he would like to correct that.

Kealan advised that these parcels were located at the cul-de-sac of Thoroughbred Lane, they are in the Hartsville/Trousdale Water Utility District, however there are no sewer lines that extend along Thoroughbred Lane. The properties are not in a Special Flood Hazard Area and do not appear to have any significant steep slopes. Sam Edwards advised that all of Thoroughbred was intended to be R-1 and this request is just to continue to correct the zoning. David Nollner made a motion to approve the request Seconded by Mary Ann Baker.

MOTION CARRIED

- *Final Plat approval for Stonehill Subdivision by Arthur Harper / Craig Moreland of 7.15 acres off McMurry Blvd. E (Map 019M Group C Parcel 17.02) for 21 lots in the 9th Civil District.*

Jim Carman was present to speak for the property owners. He presented the Final Plat for review.

Kealan asked and was advised the plat would not be recorded until the 911 Board approves a street name at the next meeting in July. She requested to note the uses other than residential proposed for lots 1 and 21 which are commercial. Sam Edwards reviewed the plat and had no issues. David Nollner made a motion to

approve the Final Plat. Seconded by Thomas Harper.

MOTION CARRIED

- *Final Plat Approval for James Byrnes Subdivision by James Byrnes of 5.69 acres on McMurry Blvd. E (Map 019M Group A Parcel 1.04) for 3 lots in the 9th Civil District.*

Jim Carman advised that the property owner has no plans other than to divide the 3 lots and market them as commercial property for sale.

Kealan asked for clarification on the property description was this was no longer a portion of a parcel and was advised it was not that it had been taken care of in previous meetings. She noted Access from Arterial or Collector Public Ways and a recommendation of a shared driveway to limit access points created on McMurry Blvd. E. She also noted to include the location and size of all existing and proposed sewer facilities. Sam advised that there is an agreement between Harper/Moreland and Byrnes for equipment to be shared for cutting sewer connections on each of the properties.

David Thomas made a motion to approve the plat with shared driveway to connect to New Halltown only. Jim Carman asked if TDOT could have input on the entrance being on McMurry Blvd and was told yes as they “TDOT” has the final decision on McMurry anyway. Motion was seconded by David Nollner.

MOTION CARRIED

- *Site plan by Michael Woodard for Front Street Mini-Storage of 5.62 acres on Front Street (Map 027B Group a Parcel 019.00) for Mini-Storage Units in the 7th Civil District.*

This item has been moved to the July meeting.

- *Site Plan by Robert Powers for the East Main Street Development of 27,045 sq. ft. on East Main Street (Map 027D Group A Parcel 4.00) for multifamily units in the 9th Civil District.*

Jim Carman spoke for property owner Robert Powers and presented a Site Plan for a 7-unit apartment development on East Main Street.

Kealan noted the permitted uses, bulk standards and this property will be held to the development standards for Group Housing Project and identified the following items for review: building heights and dimensions, dimensions of parking spaces, note proposed ground coverage and floor area of each building, proposed means of surface drainage, label all commonly held open space or note entity responsible for maintenance of those areas, show pedestrian access from parking areas to buildings and include dumpster screening and to also show connection between the driveway and the public street. Sam Edwards had no other comments.

David Thomas made a motion to approve the Site Plan contingent upon the required information being included. Seconded by Rhonda Keisling.

MOTION CARRIED

- *Sketch Plat by Fleming Homes LLC for Freedom Farms Subdivision of 16.21 acres on Temprow Rd. and Bass Rd. (Map 16 Parcel 24.05) for 6 lots in the 5th Civil District.*

Chairman Kerr asked if anyone was present to speak to this project and no one was, Therefore Sarah Murray made a motion to table this until the next meeting. Seconded by David Thomas.

MOTION CARRIED

- *Plot plan by Hunters Point Quarry LLC for the LaLance Property of 147.55 acres at 1250 Hwy 231 S (Map 041 Parcels 06.00, 05.01, 05.02) for mining and quarrying activities in the 6th Civil District.*

Several neighbors to the property were present to speak and representatives were asked to sign in .

Chairman Kerr had also asked that a representative from the Quarry be present as well to give an overview of the proposed project and answer any questions anyone may have.

Joshua Denton, Attorney with Frost Brown Todd LLC was present to speak on behalf of Hunter's Point Quarry LLC as well as the following:

Doug Wright, Turn Key Processing Solutions

Will Glusack, James Baxter and Matt Lamb for Engineering and Operational questions

Matt Mouncey, Colinas Group

Dr. Christopher Thief, President/Director of Toxicology for Hazardous substance and Waste Mang. Research Inc.

Sarah Daniel Meyer, Geosonics Inc. for questions regarding vibrations and acoustics.

Shane Boring, Senior Environmental Scientist for questions regarding wetlands, wildlife, threatened or endangered species.

Ryan Agu, Kimley Horn for questions regarding the traffic study.

Mr. Denton advised members of the application which was in accordance with Section 4.120 of the Trousdale County zoning resolution which deals with development standards for mining activities for review noting the following:

- Increased the setbacks an additional 150 feet from the 100 ft. that was required.
- The updated site plan reflected the Side Slopes and Drainage questions.
- Septic and well water will be used for the office. The location map and site layout issues were addressed in the updated site plan submitted today.

Members had no questions at that time.

Kealan advised that if Septic was to be used an updated site plan reflecting soils area and wells would be needed. Also, and arial photo of about a mile would be needed and loading and unloading of trucks needed more detail as well.

At that time citizens had the opportunity to speak.

Becky Johnson, Property Owner spoke against the Quarry sighting neighbors opposition, the area not sparsely populated, mining activities not being listed as an allowable use in A-1 zoned areas, property damage, property values, dangerous roads, air and noise pollution, wildlife refuge, water and rock debris from blasts.

Nelson Gregory Armstrong, Property Owner spoke against the Quarry sighting his property adjoins the site and he has environmental concerns stating that quarry site (1) is right beside a wildlife refuge for waterfowl, underground disruption and the historical gravesites at the location being disrupted.

Michelle Wright, Property Owner, Engineer and a Site Selection Consultant shared the same concerns as other neighbors and was concerned that this development being temporary when looking at direct and indirect economic development for the county. She urged members to do due diligence and consider bridges and other waterways that could be affected if something should go wrong.

Jon Kelley, Owner of Kelley's Berry Farm spoke in opposition of the quarry sighting this lime dust and the effect it could have on his berry crops.

Paul Phillips, Property Owner who worked for a foundation repair company voiced concerns over shifting soil caused by water, hydrostatic pressure and seismic activity. He said repairs can cost \$30,000.00.

Kevin Graves, from Wilson County expressed concerns over the Nathan J Harsh bridge and the heavy trucks traveling over it and the proposed site being located up river from Wilson County's water supply .

Sam Edwards advised that he had checked on the entrance to the project with Mr. Allen Hall of TDOT who has went out and looked at the site and approved the new entrance as submitted. Currently, there are NO directions in the counties Zoning Ordinance that directs us in the setup of these quarries, and sited 4.120 Development Standards for Mining Activities and Related Services of Hartsville Zoning Ordinance. He added that for the past 3 months the planning commission had been working on developing restrictions for this, one was approved and sent to the County Commission but no action has been taken on it yet. This application was submitted before that and does not have to follow the restrictions approved by the planning commission but the applicant has done so.

David Thomas asked with the property being zoned A-1 and mining and quarrying not being listed as an allowable use in that zone is there a legal opinion on this issue? Chairman Kerr agreed and also noted that A-1 does not prohibit as well and asked that we consult the County Attorney.

At that time Mark Swaffer stated that in looking at the zoning ordinances it's not a permitted use nor special exception as our current ordinances are and its strictly prohibited use. He also noted that some of the surrounding properties were zoned R-1 if the zoning maps were correct.

Chairman Kerr advised that according to State Law we cannot just not put something in, we have to make a place for it. That is what the planning commission had been working on since February and had passed it to the County Commission who was doing their due process of how to deal with it and it has not passed yet, this body the planning commission had to deal with items according to our current regulations not what they might be in the future.

Sam Edwards advised that Rivercrest Estates are all zoned R-1 and one lot to the North is R-1 as well. However, A-1 does state that it's not a permitted use but all of the others state the same. The questions he has received is can we have an outright ban on something? If we can that answers the question but if we can't we have to move forward.

David Thomas asked to clarify, the planning commission has no authority to set ordinances for zoning. Therefore, they cannot amend zoning only refer to the county commission for changes to be made. We may only use the current ordinances.

Chairman Kerr agreed and advised that we have to make decisions according to current laws and ordinances.

David Thomas advised that in looking back Trousdale County did have regulations in place for mining and quarries but the county commission took them out several years ago. Chairman Kerr advised that did happen 12 years ago.

David Thomas asked to clarify if the planning commission had to look at this as properly zoned plot? Chairman Kerr asked Mayor Chambers for clarification.

Mayor Chambers asked if we needed clarification on the following:

Since we have no zoning for mining to go into there's an ambiguity there. Even though we have regulations saying how we are going to regulate mining since we have no specific zone what is the effect of that? Does that mean it can do anywhere or what is the effect of that?

Planners agreed that is the question and Mayor Chambers advised that he had been in contact with County Attorney Branden Bellar and they were still in the process of doing research and were unable to give a legal opinion at this time.

Chairman Kerr gave the following options to planning members. To handle the plan tonight using each members interpretation of the current ordinances or to table the item and allow for a legal opinion noting that if it is tabled, planning will be required to take action next month.

Mark Swaffer made a motion to Reject the Plot Plan Seconded by Carol Pruitt.

MOTION FAILED 4/5

Yes – Swaffer, Harper, Nollner & Pruitt / NO – Kerr, Thomas, Baker, Keisling & Murray

David Thomas made a motion to table this item until next month. Seconded by Rhonda Keisling.

MOTION CARRIED 7/2

Yes – Thomas, Keisling, Nollner, Harper, Baker, Kerr & Murray / NO – Swaffer & Pruitt

Discussion Topics

N/A

Closing Remarks from the Chair and Commission

N/A

Adjourn

David Nollner made a motion to adjourn, Seconded by Thomas Harper

MOTION CARRIED

Hartsville/Trousdale Planning Commission Regular Meeting

Meeting Minutes

June 22, 2022 - 7:00 P.M. – Trousdale County Courthouse – 2nd Floor Courtroom

Present: John Kerr, David Nollner, Rhonda Keisling, David Thomas, Mark Swaffer, Mary Ann Baker, Sarah Murray and Sam Edwards.

Absent: Thomas Harper and Carol Pruitt

Others Present: Stephen Chambers, Landon Gulley, Kristine Hetticer, John Hetticer, Rachel Jones, Marshal Myhan, Becky Johnson, Michelle Wright, Mike Keisling, Joey Martin, Steve Whittaker, Ray Russell, Rosalie Myhan, Dwight Jewell and Lonnie Taylor {Mark Dudney and Evan White participated via ZOOM}

Roll Call

Chairman Kerr called the meeting to order at 7:00 P.M. and Secretary Baker conducted a roll call.

Discussion Topics

2022 Multimodal Access Grant – Propose sidewalks along Broadway from Depot Street to McMurry Blvd. Mayor Stephen Chambers advised members that Hartsville/Trousdale County had applied for this grant previously not received it and therefore would be applying again. The purpose of this meeting was to discuss the application process and to have a public hearing.

Mark Dudney of the Rural Planning Organization advised that this is a very competitive Grant due to the match only being 10% from the county and he would be assisting with the application. He discussed the need for sidewalks had increased due to pedestrian traffic increasing and the connectivity the sidewalks would provide.

Evan White with Mid Tenn. Engineering would be assisting with the application as well.

Mayor Chambers advised that the pedestrian traffic has increased and has witnessed pedestrians having to get in the roadway as there are no current sidewalks and several residents in that area are in favor of the project.

David Thomas asked if existing sidewalks being rehabilitated would they need to be redone in order to meet the new codes and was advised they were grandfathered in until they were worked on then they would need to be brought up to current codes.

Mark Swaffer asked what PROWAG standards was, Evan White advised that was another acronym used meaning you can run the sidewalk grade the same as the road grade.

Rosalie Myhan asked if any utilities would be affected and how could we make the project more attractive to TDOT? She was advised possibly water meters only and Public Support.

Sam Edwards voiced concern over the rock walls along the project area and asked if it could be saved.

Dwight Jewell added that the County Commission in the past has been very supportive of these types of grants and sees a great need for the sidewalks in that area.

Rhonda Keisling made a motion to support the Multimodal Access Grant, Seconded by Mary Ann Baker.

MOTION CARRIED

Public Comment

Joey Martin, a resident, asked if the project included a crosswalk between the existing sidewalk and this project? Mayor Chambers said that was in the project.

Marshall Myhan, a resident, asked if petition could be submitted with the application showing the need? Mr. Dudney said yes if that could be submitted to the mayor he would get it included.

Kristine Hetticer, a resident, spoke in support of the grant, she noted that in her 3 years living in the area she has seen an increase in traffic as well as pedestrians walking on the street. She stressed this is a need for the county.

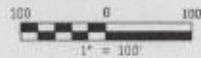
Sheriff Ray Russell noted that 2 years ago a disabled subject in a wheelchair was trying to cross the road in the project area and was struck by a vehicle and he was in support of the project.

Michelle Wright, a resident, stated that this project was needed due to the growth our county.

Adjourn

David Nollner made a motion to adjourn, Seconded by Sarah Murray.

MOTION CARRIED

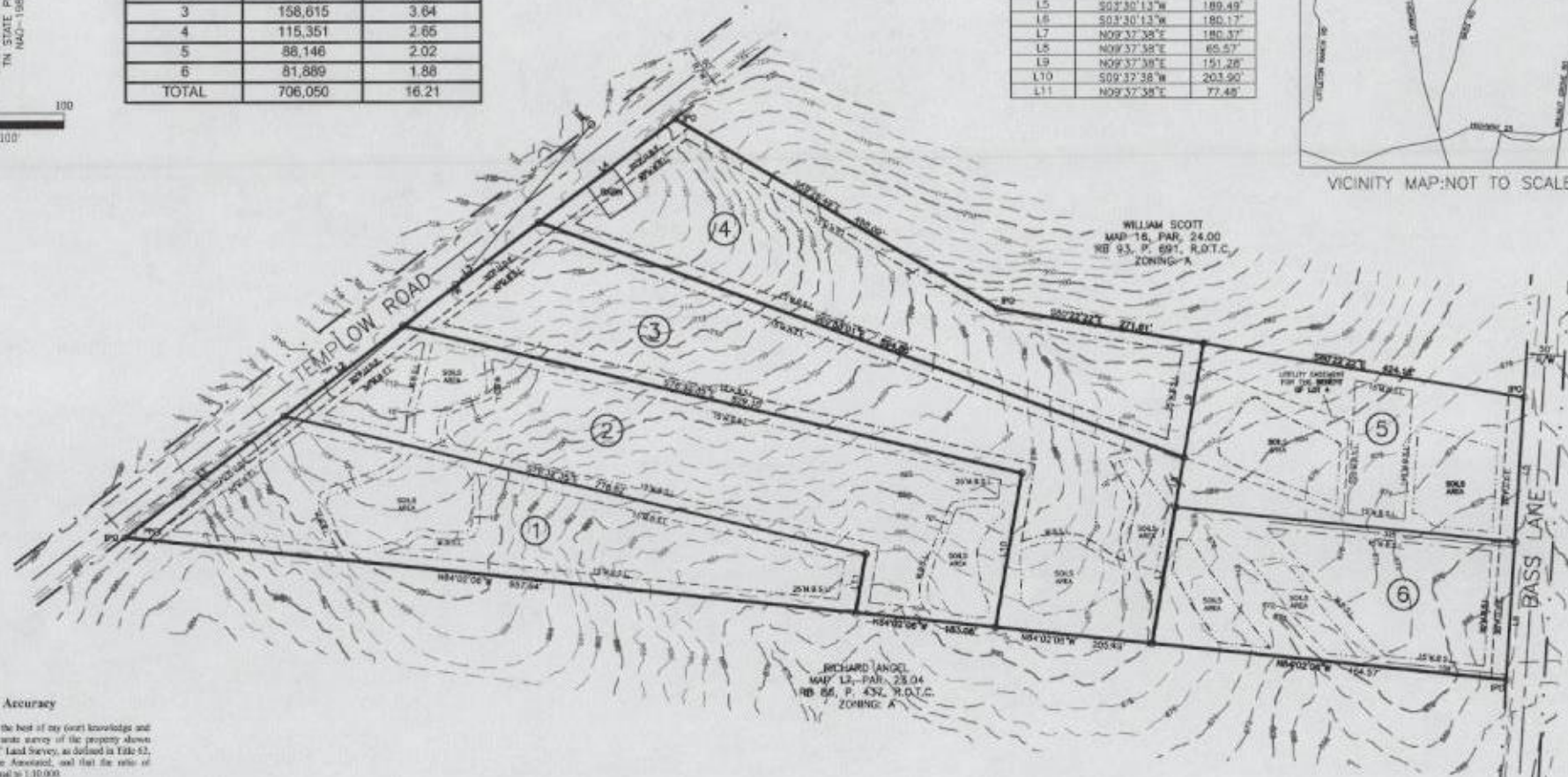


LOT TABLE		
LOT NUMBER	SQ. FT. +/-	ACREAGE +/-
1	115,753	2.66
2	146,296	3.36
3	158,615	3.64
4	115,351	2.65
5	86,146	2.02
6	81,889	1.88
TOTAL	706,050	16.21

LINE TABLE		
LINE	BEARING	LENGTH
L1	N52°45'22"E	261.26'
L2	N52°45'22"E	193.84'
L3	N52°45'22"E	222.93'
L4	N52°45'22"E	222.93'
L5	S02°30'13"W	189.49'
L6	S02°30'13"W	180.17'
L7	N09°37'38"E	180.37'
L8	N09°37'38"E	65.57'
L9	N09°37'38"E	151.26'
L10	S09°37'38"W	203.90'
L11	N09°37'38"E	77.48'



VICINITY MAP: NOT TO SCALE



Certificate of Survey Accuracy

I (we) hereby certify that to the best of my (our) knowledge and belief this is a true and accurate survey of the property shown herein that this is a Class "1" Land Survey, as defined in Title 53, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date: _____ New Marshall Agcs, FLA TN12871



AP
ALS
AGCE PROFESSIONAL
LAND SURVEYING, LLC
1622 WOODSIDE DR.
LEBANON, TN 37087
615.887.1371
becuagce1@gmail.com

PROPERTY INFO:
OWNER: FLEMING HOMES, LLC
RB. 149, P. 613, R.O.T.C.

SKETCH PLAT OF SUBDIVISION OF
FREEDOM FARMS
FORMERLY "FLEMING HOMES PROPERTY"
ZONING: R-1: RESIDENTIAL
MAP 16, PARCEL 24.05
5TH CIVIL DISTRICT OF TROUSDALE COUNTY, TN
DATE: APRIL 29, 2022 JOB # 21-1106-A1581
REVISED: JUNE 18, 2022

MICHAEL WOODARD FRONT STREET MINI-STORAGE

HARTSVILLE, TENNESSEE
TAX MAP 027B, GROUP A, PARCEL 019.00
FRONT STREET

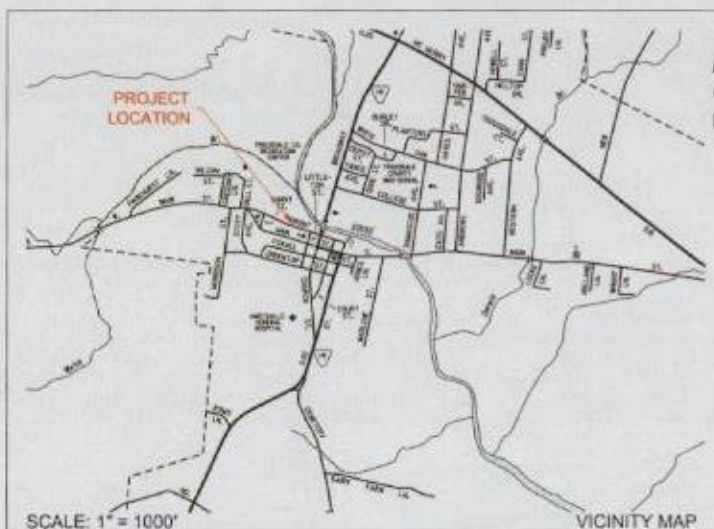
INDEX OF DRAWINGS

DESCRIPTION

COVER SHEET
GENERAL NOTES
EXISTING SITE PLAN
PROPOSED SITE LAYOUT
PROPOSED GRADING & DRAINAGE PLAN
STANDARD SITE DETAILS

SHEET

T1
G1
C1
C2
C3
C4



SITE DATA

OWNER / APPLICANT: MICHAEL WOODARD ETUX HANNAH
122 BRADFORD HILL ROAD NORTH
BRUSH CREEK, TN 38547

ZONING: G-1
AREA OF TRACT: 0.48± AC
TAX MAP ID: 027B
PROPOSED USE OF STRUCTURES: MINI-STORAGE
LAND DISTURBANCE: 0.58± AC
WATER: PUBLIC HTWSUD
WASTE: PUBLIC HTWSUD

EXISTING BUILDING GROSS: 0 S.F.
PROPOSED BUILDING GROSS: 4,600 S.F.
EXISTING IMPERVIOUS SURFACE AREA: 0 S.F.
PROPOSED IMPERVIOUS SURFACE AREA: 12,860 S.F.

PROPOSED HEIGHT OF BUILDING: 1 STORY, APPROX. 10'

*SITE PLAN APPROVAL WILL CEASE TO BE EFFECTIVE AFTER 1 YEAR AFTER DATE OF APPROVAL IF A BUILDING PERMIT HAS NOT BEEN ISSUED OR UNLESS THE SITE IS RE-APPROVED.

NO.	DATE	DESCRIPTION	BY	CHKD
1	10/20/23	PROJECT CONSTRUCTION PERMIT APPLICATION	J.D.C.	J.D.C.



MICHAEL WOODARD
FRONT STREET MINI-STORAGE
HARTSVILLE, TENNESSEE

COVER SHEET



NO.	DATE	DESCRIPTION	BY	CHKD
1	10/20/23	PROJECT CONSTRUCTION PERMIT APPLICATION	J.D.C.	J.D.C.

T1

**MID - TENN
ENGINEERING CO.**
646 HWY. 52 BYPASS WEST
LAFAYETTE, TN (615) 666-2365

GENERAL NOTES

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERTINENT AGENCIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONAL REFERENCES, DOCUMENTS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLANS OR IF THE PROPOSED WORK WOULD BE IMPACTED BY ANY OTHER SITE FEATURES.
4. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OF EXISTING SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, FINISH BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
6. LOCATIONS OF PROPERTY LINES & UNDERGROUND UTILITIES POSSIBLY OCCUPY THE SAME LOCATIONS. THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATION & DEPTH OF ALL EXISTING UNDERGROUND UTILITIES BEFORE MAKING TIES TO THEM.
7. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNWANTED MATERIAL AND DEBRIS (INCLUDING) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND EXPOSE OF HAZARDOUS / UNDESIRABLE MATERIAL OR DEBRIS IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.
8. THE CONTRACTOR SHALL OBTAIN A POST ALL NECESSARY PERMITS.
9. THE CONTRACTOR SHALL PROVIDE SAFETY MEASURES THROUGHOUT THE FULL TERM OF THE PROJECT, IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR HIGHWAYS AND HIGHWAYS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
10. A COPY OF THE APPROVED PROJECT PLANS SHALL REMAIN WITH THE CONTRACTOR ON SITE AT ALL TIMES DURING THE PROJECT.
11. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COLLISIONS, DAMAGE TO EXISTING UTILITIES OR OTHER DAMAGE. CONTRACTOR RESPONSIBILITY FOR DETOURING AND PROVIDING ALTERNATE ROUTES FOR TRAFFIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A COLLISION IS IDENTIFIED.
12. NEITHER THE PROFESSIONAL ACTIVITIES OF MID-TENN ENGINEERING COMPANY NOR THE PRESENCE OF MID-TENN ENGINEERING COMPANY OR ITS EMPLOYEES AND SUB-CONTRACTORS AT A CONSTRUCTION SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, SAFETY, TRAFFIC CONTROL, METHOD, MEANS, TECHNIQUES OR PROCEDURES NECESSARY FOR MAINTAINING SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THESE PLANS AND ANY HEALTH OR SAFETY REGULATIONS IMPOSED BY ANY REGULATORY AGENCIES. MID-TENN ENGINEERING COMPANY AND ITS EMPLOYEES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROCEDURES OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. MID-TENN ENGINEERING COMPANY SHALL BE INSURED BY THE GENERAL CONTRACTOR AND SHALL BE WAIVER ADDITIONAL INSURED UNDER THE GENERAL CONTRACTORS POLICY OF GENERAL LIABILITY INSURANCE.

GRADING GENERAL NOTES

1. CONTOURS SHOWN ARE FOR FINISH GRADES, TERRAZZO, SLAB OR SLOPED. ADJUSTMENT TO SURGRADE IS THE CONTRACTORS RESPONSIBILITY.
2. PROOF ROLL THE SITE WITH A TANKER AND LOADED DUMP TRUCK IN TWO DIRECTIONS. ANY AREAS WHICH ARE NOT TO BE ROLL EXCESSIVELY SHALL BE UNDOUBT AND BACKFILLED WITH COMPACTED ENGINEERED FILL ACCORDING TO THE SPECIFICATION REQUIREMENTS BELOW.
3. IF DURING THE COURSE OF GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNSTABILIZED SOIL SITUATION IS PRESENT. THE GEOTECHNICAL ENGINEER AND OWNER'S CIVIL ENGINEER CONSULTANT (MID-TENN ENGINEERING COMPANY) SHALL BE CONTACTED FOR RECOMMENDATIONS.
4. UNLESS OTHERWISE SPECIFY, NO PROPOSED SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
5. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE OWNERS ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPACING PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, CUTTER, AND UTILITIES.
6. CONTRACTOR SHALL USE BENCH MARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARKS BY PLACING A LEVEL DOWP BENCHMARK AT LEAST TWO BENCHMARKS. AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
7. ALL UTILITIES MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC. SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL LIFT OF ASPHALT.
8. SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
10. EXISTING GRADE CONTOUR INTERVALS SHOWN AT ONE (1) FOOT INTERVALS.
11. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE (1) FOOT INTERVALS.
12. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
14. ALL SITE CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
15. PAVEMENT OPERATION TO COMMENCE AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.

ADA GENERAL NOTES

1. ALL HANDICAP PARKING SPACES SHALL BE PAINTED AND MARKED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
2. ALL HANDICAP RAMP AND ACCESSIBLE RAMP SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
3. THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:
 - (A) THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PAVED DRIVEWAY OR STORE FRONT SHALL NOT EXCEED 2%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 - (B) THE GRADER WITHIN HANDICAP PARKING SPACES SHALL NOT EXCEED 2% MEASURED IN ANY DIRECTION (HANDICAP PARKING SPACES SHALL HAVE AN ACCESSIBLE ROUTE AS NOTED BELOW TO THE SIDEWALK ENTRY AS SHOWN ON THE PLANS).
 - (C) ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5%. ACCESSIBLE ROUTES EXCEEDING 5% SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8:1 FOR A MAXIMUM RISE OF THIRTY (30) FEET. A SLOOT BY SPOT LANDING AND WITH MAXIMUM SLOPE OF 2% IN ANY DIRECTION SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
4. ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF SEVEN (7) FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
5. ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN DETECTABLE WARNINGS IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMP IS NEEDED.
6. THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 6 INCH.
7. THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP CHECKED BY OWNERS ENGINEER OF RECORD TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE IMPACTED BY WORK NOT APPROVED BY THE OWNERS ENGINEER.

UTILITY GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL AT A MINIMUM, CONFORM TO HARTSVILLE/TROUSDALE WATER SEWER UTILITY DISTRICT STANDARDS, SPECIFICATIONS, PLANS, AND DETAILS.
2. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
3. ALL NECESSARY INSPECTIONS AND / OR CERTIFICATIONS REQUIRED BY CODES AND / OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ADVANCED BUILDING PERMITS AND THE FINAL CONNECTION OF SERVICE.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHILE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BENEFACT. TO COMPLETE THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 14 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
6. CONTRACTOR SHALL NOTIFY THE UTILITY BEFORE CONNECTING TO EXISTING UTILITY.
7. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
8. ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS.
9. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND ELEVATIONS WITH INADEQ. TOPS OF LID.
10. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
11. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IMPROVEMENTS TO WITHIN THE CURB OF PROPOSED BUILDING LINES AS SPECIFIED OTHERWISE. SITE WORK CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR ON ALL UTILITY BUILDING ENTRANCE LOCATIONS.
12. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
13. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SUBGRADE WORK FOR LIGHT POLES, BORNES, ETC. AND SIMILAR STRUCTURES.
14. ALL UTILITIES SHALL BE TESTED TO ENSURE PROPER INSTALLATION.

SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER PIPES SHALL MEET 8000 PSI REQUIREMENTS. SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ADEPT STANDARDS AND SPECIFICATIONS.
2. DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
3. SPOT ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, DROPT, AND STEEL BARS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN ACCORDANCE WITH THE PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
4. ALL SANITARY SEWER MANHOLE TESTING SHALL BE IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL TEST RESULTS SHALL BE PROVIDED TO THE OWNERS (ENGINEER), THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO BEGINNING SERVICE.
5. COMPACTION OF ALL TRENCHES WITHIN PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER SYSTEM.
7. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
8. SANITARY SEWER STRUCTURES AND PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAILS ON PLANS.
9. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLOSH WITH ASPHALT, AND SHALL HAVE TRAFFIC BEARING CAPACITY. MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND GRADE. ALL STORM STRUCTURE LIDS SHALL BE STUMMUMS COATED AND LABELED "SANITARY SEWER".

EROSION PREVENTION AND SEDIMENT CONTROLS

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJOINING ROADS, LANDS, AND STREAMS. REFER TO E.C.S. MANUAL "EROSION AND LAID DEVELOPMENT" AND T.D.E.C. "EROSION & SEDIMENT CONTROL HANDBOOK" FOR REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRADING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT. ALL POINTS WHERE STORM WATER ENTERS A STREAM THAT TRAVERSES THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTULOUS OF COMPLETED UNDERGROUND PIPES.
3. THE CONTRACTOR SHIP WITH THESE PLANS REPRESENT THE MINIMUM REQUIRED CRITERIA. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN (ON SITE) SHIPS AS THE PROJECT PROGRESSES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL TEMPORARY AND PERMANENT CONTROL PRACTICES TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. SHOULD A STRUCTURE OR PRACTICE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NO.	DATE	DESCRIPTION	BY	CHKD	
					
					
<p>GENERAL NOTES</p>					
					
DESIGNED BY	ELW	DATE	5/24/22	PROJECT NO.	810200
DRAWN BY	JDC	CHECKED BY	JDC	SCALE	AS SHOWN
SHEET					
<p>G1</p>					

BENCHMARK TABLE			
BENCHMARK DESCRIPTION	NORTHING	EASTING	ELEVATION
BM1	1024.17	1024.17	1024.17

NOTES: ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

SITE LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CANTOIR
---	EXISTING WATER MAIN
---	EXISTING SEWER MAIN
---	EXISTING POWER POLE
---	EXISTING ROW RED BUILT
●	EXISTING BENCHMARK

Curve	Radius	Angle	Length	Delta	Chord	Chord Bear.
L1	2000.00'	85.85°	171.85'	171.85'	171.85'	N 79°22'38" W
L2	2043.70'	88.54°	197.10'	197.10'	197.10'	S 87°34'29" E

M. C. HARRIS
MAP 278 GROUP A, PARCEL 919
DB. 46, PG. 159
ZONED R-2

AGLEY 4307
MAP 278 GROUP A, PARCEL 1349
DB. 46, PG. 278
ZONED R-2

MICHAEL WOODWARD ETUX HANNAH
MAP 278 GROUP A, PARCEL 930
DB. 46(1), PG. 426
ZONED O-1

NEAREST FIRE HYDRANT
IS LOCATED 187 FEET FROM
THIS PROPERTY CORNER



<p>MID - TENN ENGINEERING CO. 444 GERRARD ST. S. #200 LAFAYETTE, TN 37135-1800</p>	
<p>MICHAEL WOODWARD FRONT STREET MINI-STOARGES HARTSVILLE, TENNESSEE</p>	
<p>EXISTING SITE LAYOUT</p>	
<p>DATE: 5/24/22</p>	<p>BY: EJS</p>
<p>SCALE: 1" = 10'</p>	<p>PROJECT: 052003</p>
<p>C1</p>	

SITE DATA INFORMATION

ZONING: D-1
 AREA OF TRACT: 0.49 AC
 EXISTING BUILDING GROSS SF: 0 S.F.
 PROPOSED BUILDING GROSS SF: 4,800 S.F.
 PROPOSED BUILDING HEIGHT: 10 L.F.
 # OF PARKING SPACES REQUIRED: 2 SPACES
 # OF PARKING SPACES PROPOSED IN PAVEMENT: 2 SPACES
 # OF HANDICAP PARKING SPACES REQUIRED: 2 SPACES
 # OF HANDICAP PARKING SPACES PROPOSED: 2 SPACES
 # OF LOADING/UNLOADING SPACES REQUIRED: 2 SPACES
 # OF LOADING/UNLOADING SPACES PROPOSED: 2 SPACES
 EXISTING IMPERVIOUS SURFACE AREA: 0 S.F.
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 12,800 S.F.
 COMMENTS:
 TOTAL ASPHALT PAVEMENT AREA: 8,200 S.F.

KEYNOTES		
SYMBOL	DESCRIPTION	DETAIL
(Symbol)	ASPHALTIC PAVING	1/100
(Symbol)	PROP. RETAINING WALL	15/05
(Symbol)	8" CONCRETE CURB	15/05
(Symbol)	CHAIN LINK FENCE	3/05
(Symbol)	CHAIN LINK GATE	NA



M. C. WARREN
 MAP 276 GROUP A, PARCEL 43K
 OR 18, PG. 150
 ZONED R-2

BILLY KERRY
 MAP 276 GROUP A, PARCEL 150B
 OR 17, PG. 219
 ZONED R-2

MICHAEL WOODWARD (TRUCK HANDBAY)
 MAP 276, GROUP A, PARCEL 83K
 OR 26, PG. 62K
 ZONED D-1

PLANT SCHEDULE						
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	COBT	CAH	SIZE
(Symbol)	11	CLIPROSCOPARIAS	CLIPROSCOPARIAS	3/40		6" P. 4"
(Symbol)	07	BUTYRUS LAEVE	COMMON BARK	3/40	18007	SPYDING
(Symbol)	03	ALBUCA ESCOLA	ALBUCA ESCOLA	3/40	18" x 24"	4" 0"
(Symbol)	24	LOV. DARRA CHAMORRA	WISSEY	3/40	18" x 24"	4" 0"

PROPOSED SITE LAYOUT

MID-TEAN ENGINEERING CO.
 648 HURWAY 55 AVENUE S.E.
 LAFAYETTE, TENNESSEE 37135

J.D.C.
 10/24/22
 8:00AM

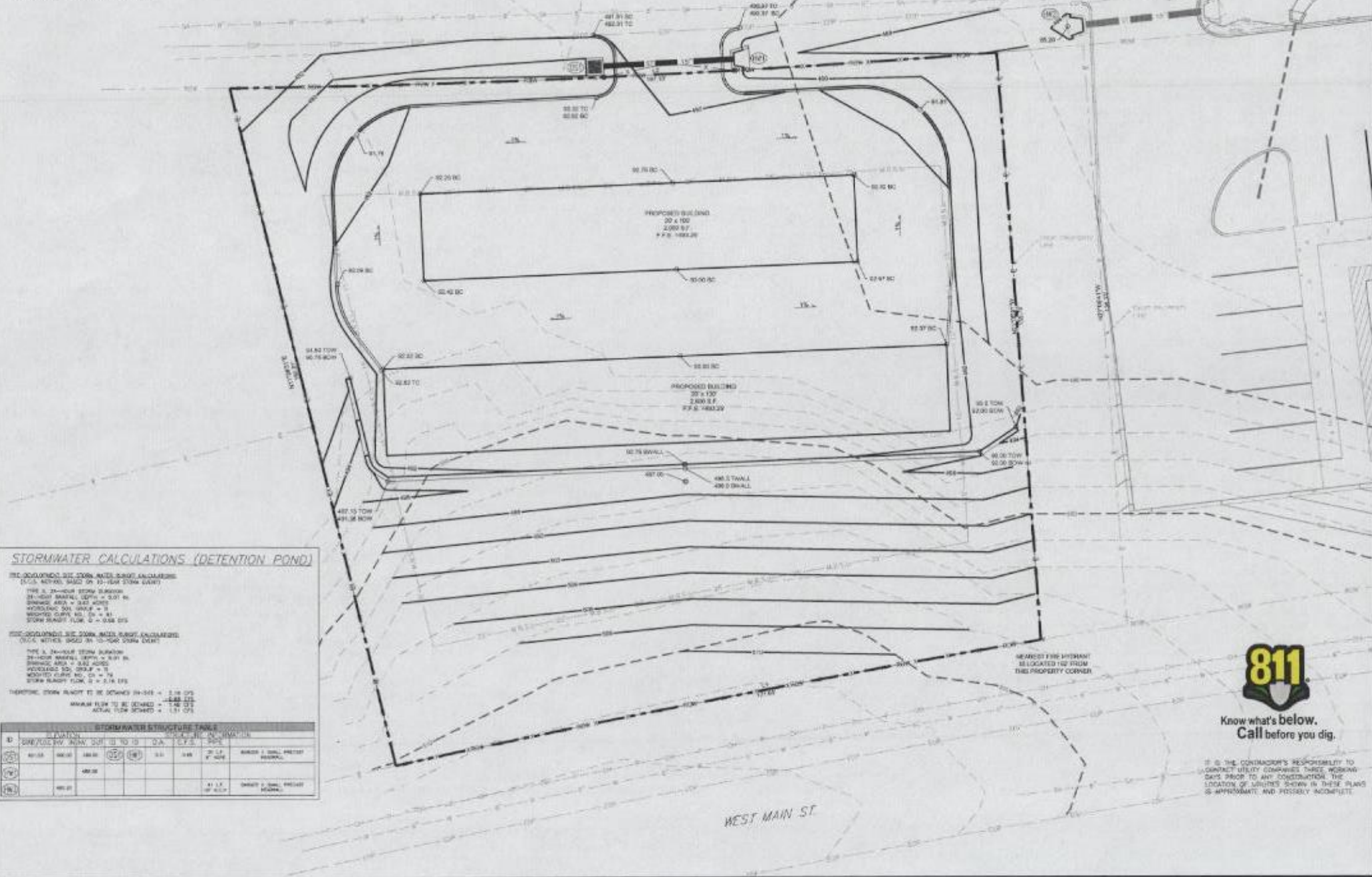
E.L.W.
 10/24/22
 8:00AM

C2

PROPOSED SITE LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR
- - -	PROPOSED CONTOUR
- - -	FOOTPRINT OF CURB
---	SPOT ELEVATION - FINISHED GRADE
---	SPOT ELEVATION - TOP OF CURB / CORN
---	SPOT ELEVATION - BOTTOM OF CURB / CORN
---	SPOT ELEVATION - TOP OF WALL
---	SPOT ELEVATION - BOTTOM OF WALL

"NO TREES OF SIGNIFICANT SIZE WILL REMAIN"



STORMWATER CALCULATIONS (DETENTION POND)

SEE DEVELOPER'S SITE DRAINAGE REPORT ENCLOSURES
 (BASED UPON 24-HOUR STORM DRAINAGE)
 THIS IS A 24-HOUR STORM DRAINAGE
 24-HOUR RAINFALL DEPTH = 3.01 IN.
 DRAINAGE AREA = 3.62 ACRES
 WOODBRIDGE SOIL GROUP = T2
 WEIGHTED CURVE NO. (CN) = 81
 STORM RAINFALL FLOW (Q) = 0.58 CFS

SEE DEVELOPER'S SITE DRAINAGE REPORT ENCLOSURES
 (BASED UPON 24-HOUR STORM DRAINAGE)
 THIS IS A 24-HOUR STORM DRAINAGE
 24-HOUR RAINFALL DEPTH = 3.01 IN.
 DRAINAGE AREA = 3.62 ACRES
 WOODBRIDGE SOIL GROUP = T2
 WEIGHTED CURVE NO. (CN) = 74
 STORM RAINFALL FLOW (Q) = 5.18 CFS

THEREFORE, STORM RAINFALL TO BE DETAINED IN-SEE = 2.58 CFS
 MAXIMUM FLOW TO BE DETAINED = 7.76 CFS
 ACTUAL FLOW DETAINED = 1.31 CFS

STORMWATER STRUCTURE TABLE

NO.	TYPE	SIZE	DEPTH	INLET	OUTLET	FLOW	REMARKS
1	MANHOLE	48" DIA.	4'-0"	10+00	10+50	1.31 CFS	MANHOLE 1 SHALL PREPARE PERMANENT
2	MANHOLE	48" DIA.	4'-0"	11+00	11+50	1.31 CFS	MANHOLE 2 SHALL PREPARE PERMANENT

NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/20/22	PREPARED FOR REVIEW	EJW	

MID-TENN ENGINEERING CO.
 444 HERRING RD. #100
 LAKERSVILLE, TN 37081

MICHAEL WOODARD
 FRONT STREET MINI-STORAGES
 HARTSVILLE, TENNESSEE

PROPOSED GRADING PLAN

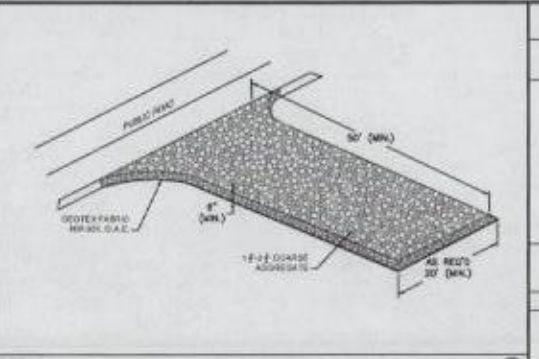
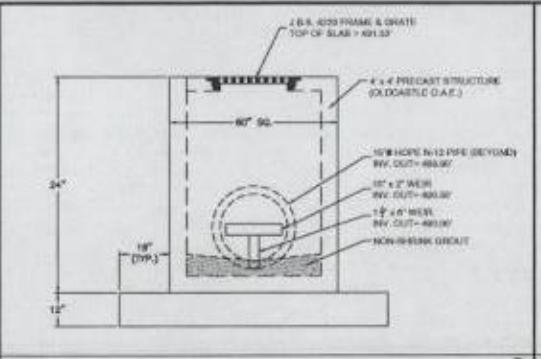
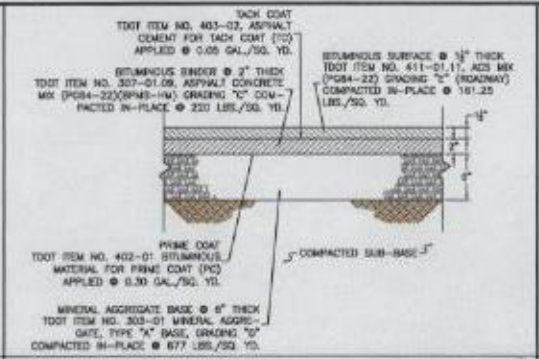
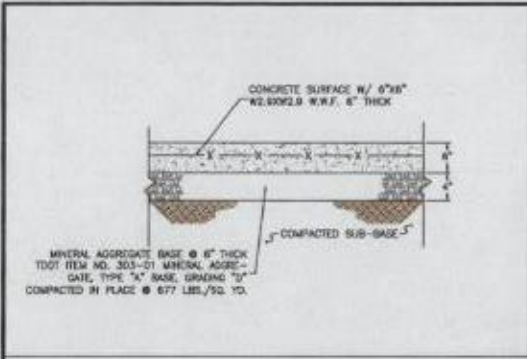


NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/20/22	PREPARED FOR REVIEW	EJW	



Know what's below.
 Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.

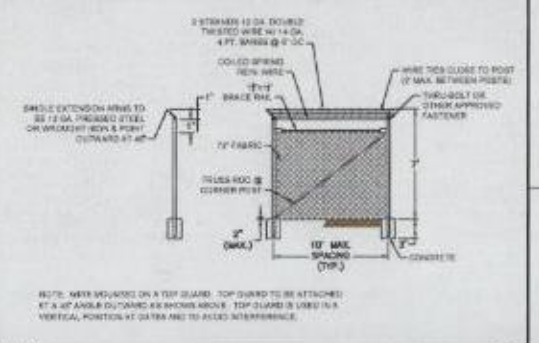
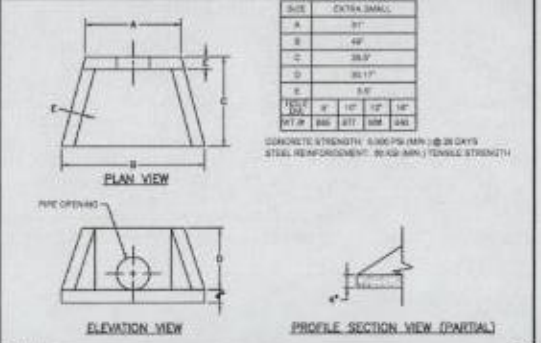
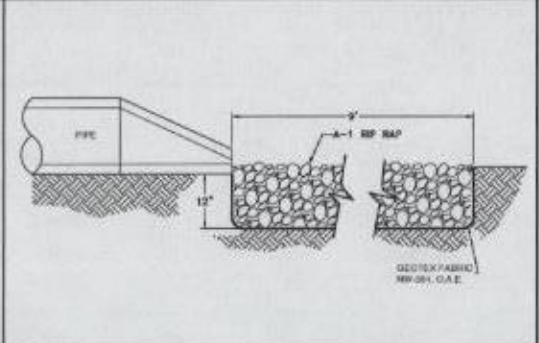
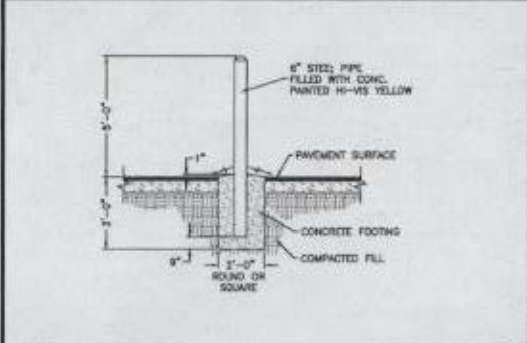


DETAIL CONCRETE PAVING SCALE: N.T.S. ①

DETAIL LIGHT ASPHALTIC PAVING SCALE: N.T.S. ②

DETAIL OUTLET CONTROL STRUCTURE #1 SCALE: N.T.S. ③

DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ④



DETAIL STEEL BOLLARD SCALE: N.T.S. ⑤

DETAIL STONE OUTLET PROTECTION SCALE: N.T.S. ⑥

DETAIL STANDARD PRECAST HEADWALL SCALE: N.T.S. ⑦

DETAIL TYPICAL CHAINLINK FENCE SCALE: N.T.S. ⑧

NO.	DATE	DESCRIPTION	BY	CHECK

MID- TENN ENGINEERING CO.
AN INDEPENDENT REGISTERED PROFESSIONAL ENGINEERING FIRM

MICHAEL WOODARD
FRONT STREET MINI-STORGES
HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS



DESIGNED BY	E.J.W.	DATE	5/5/22
CHECKED BY	J.D.C.	DATE	5/5/22
PROJECT NO.	AS-NOTED	SCALE	AS-NOTED

JESSE PETERS FRONT STREET APARTMENT BUILDING

HARTSVILLE, TENNESSEE
TAX MAP 027B, GROUP A, PARCEL 010.00
FRONT STREET

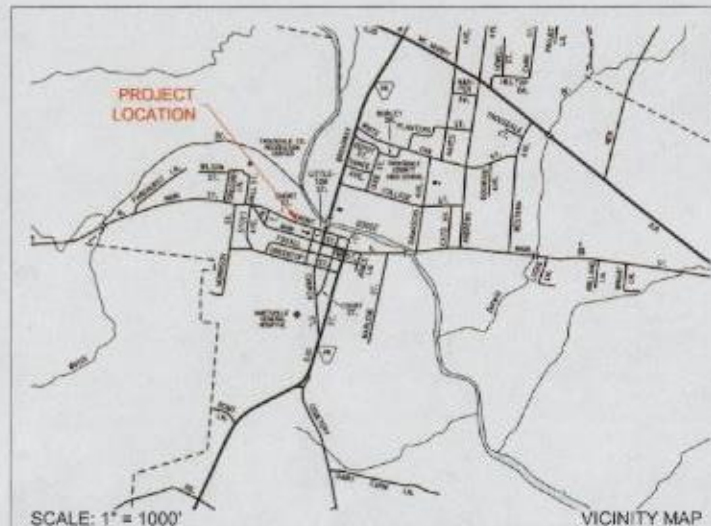
INDEX OF DRAWINGS

DESCRIPTION

COVER SHEET
GENERAL NOTES
EXISTING SITE PLAN
PROPOSED SITE LAYOUT
PROPOSED GRADING & DRAINAGE PLAN
PROPOSED UTILITIES PLAN
STANDARD SITE DETAILS
STANDARD SITE DETAILS

SHEET

T1
G1
C1
C2
C3
C4
C5
C6



SITE DATA

OWNER / APPLICANT: JESSE PETERS
914 COLLEGE AVENUE EAST
CARTHAGE, TN 37030

ZONING: C-1
AREA OF TRACT: 0.54± AC.
TAX MAP ID: 027B
PROPOSED USE OF STRUCTURES: APARTMENTS
LAND DISTURBANCE: 0.49± AC.
WATER: PUBLIC, HTWSUD
WASTE: PUBLIC, HTWSUD

EXISTING BUILDING GROSS: 2082 S.F.
PROPOSED BUILDING GROSS: 3,555 S.F.
EXISTING IMPERVIOUS SURFACE AREA: 2,982 S.F.
PROPOSED IMPERVIOUS SURFACE AREA: 9,550 S.F.

TOTAL NUMBER OF ALLOWED UNITS: N/A
TOTAL NUMBER OF PROPOSED UNITS: 8 UNITS
PROPOSED HEIGHT OF BUILDING: 2 STORES, 20'

*SITE PLAN APPROVAL WILL CEASE TO BE EFFECTIVE AFTER 1 YEAR AFTER DATE OF APPROVAL IF A BUILDING PERMIT HAS NOT BEEN ISSUED OR UNLESS THE SITE IS RE-APPROVED.



**MID - TENN
ENGINEERING CO.**
646 HWY. 52 BYPASS WEST
LAFAYETTE, TN (615) 666-2385

OWNER	J.P.C.	DATE	11/15/2022
DESIGNER	E.L.W.	DATE	11/15/2022
CHECKED	J.P.C.	DATE	11/15/2022
DATE	11/15/2022	BY	J.P.C.
 MID - TENN ENGINEERING CO. 646 HWY. 52 BYPASS WEST LAFAYETTE, TN 37046-2385			
JESSE PETERS APARTMENTS FRONT STREET HARTSVILLE, TENNESSEE			
COVER SHEET			
OWNER	J.P.C.	DATE	11/15/2022
DESIGNER	E.L.W.	DATE	11/15/2022
CHECKED	J.P.C.	DATE	11/15/2022
DATE	11/15/2022	BY	J.P.C.
T1			

GENERAL NOTES

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEOM UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERTINENT AGENCIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL JURISDICTION AUTHORITY.
3. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN OR IF THE PROPOSED WORK COULD BE IMPAIRED BY ANY OTHER SITE FEATURES.
4. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL, BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PROPOSED BUILDING DIMENSIONS, EXISTING BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL, DESIGN AND LAYOUT.
6. LOCATIONS OF PROPERTY LINES AND BOUNDARIES AND UTILITIES POSSIBLY AFFECTED, IF BY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE MARKING THEM TO THEM.
7. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOIL WASTE) SHALL BE DEPOSITED OR IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/TUMBUABLE NATURAL SPILLS IN ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS.
8. THE CONTRACTOR SHALL OBTAIN AND POST ALL NECESSARY PERMITS.
9. THE CONTRACTOR SHALL PROTECT EXISTING MEASUREMENT THROUGHOUT THE FULL TERM OF THE PROJECT BY STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAVERSE CONTROL, DEVICES FOR SETTING AND REVISIONS AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
10. A COPY OF THE APPROVED PROJECT PLANS SHALL REMAIN WITH THE CONTRACTOR ON SITE AT ALL TIMES DURING THE PROJECT.
11. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS FOR ANY COMPLETS / SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR RESPONSIBLE FOR DETERMINING METHOD / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A COMPLETE IDENTIFIED.
12. NEITHER THE PROFESSIONAL ACTIVITIES OF MID-TEN ENGINEERING COMPANY NOR THE PRESENCE OF MID-TEN ENGINEERING COMPANY OR ITS EMPLOYEES AND SUB-COMMITTEES AT A CONSTRUCTION SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION METHODS, MEASUREMENT, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THESE PLANS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. MID-TEN ENGINEERING COMPANY AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. MID-TEN ENGINEERING COMPANY SHALL BE INDemnIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICY OF GENERAL LIABILITY INSURANCE.

GRADING GENERAL NOTES

1. CONTOURS SHOWN ARE FOR FINISHED GRADE, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SURROUND IS THE CONTRACTOR'S RESPONSIBILITY.
2. PROOF ROLL THE SITE WITH A TANDEM AXLE LOADED CURB TRUCK IN TWO DIRECTIONS. ANY AREAS WHICH ARE NOTED TO RUT OR PUMP UP EXCESSIVELY SHALL BE INCISED AND BACKFILL TO WITH COMPACTED ENGINEERED FILL ACCORDING TO THE CONTRACTOR'S DESIGN BELOW.
3. IF DURING THE OVERLAP GRADING PROCESS, CONTOURS ARE ENCOUNTERED WHICH COULD INDUCE AN ENGINEERING SITUATION IS PRESENT, THE ELECTRICAL ENGINEER AND OWNER'S CIVIL ENGINEER CONSULTANT (MID-TEN ENGINEERING COMPANY) SHALL BE CONTACTED FOR RECOMMENDATIONS.
4. UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED TWO (2) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
5. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, CUTTER, AND UTILITIES.
6. CONTRACTOR SHALL USE BENCH MARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARKS BY RUNNING ALL VERTICALS BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
7. ALL UTILITIES MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO FINAL LIFT OF ASPHALT.
8. SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
10. EXISTING GRADE CONTOUR INTERVALS SHOWN AT ONE (1) FOOT INTERVALS.
11. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE (1) FOOT INTERVALS.
12. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
14. ALL SITE CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
15. PAVEMENT OPERATION TO COMMENCE AS SOON AS POSSIBLE AFTER COMPLETION OF FINAL GRADING.

ADA GENERAL NOTES

1. ALL HANDICAP PARKING SPACES SHALL BE PAINTED AND MARKED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
2. ALL HANDICAP RAMP AND ACCESSIBLE RAMP SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
3. THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT:
 - (A) THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PEDESTRIAN ACCESS OR STORE FRONT SHALL NOT EXCEED 2%. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
 - (B) THE GRADES WITHIN HANDICAP PARKING SPACES SHALL NOT EXCEED 1% MEASURED IN ANY DIRECTION. HANDICAP PARKING SPACES SHALL HAVE AN ACCESSIBLE ROUTE, AS NOTED BELOW, TO THE BUILDING ENTRY AS SHOWN ON THE PLANS.
 - (C) ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5%. ACCESSIBLE ROUTES EXCEEDING 5% SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8.3% FOR A MAXIMUM RISE OF THIRTY (30) INCHES. A SPOT BY SPOT LANDING PAD WITH MAXIMUM SLOPE OF 2% IN ANY DIRECTION SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
4. ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF SEVEN (7) FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
5. ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN DETECTABLE WARNING IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMP IS NEEDED.
6. THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 1/4 INCH.
7. THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP CHECKED BY OWNER'S ENGINEER OF RECORD TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE SPECIFIED BY WORK NOT APPROVED BY THE OWNER'S ENGINEER.

UTILITY GENERAL NOTES

1. ALL INSTALLATION AND MATERIALS SHALL, AT A MINIMUM, CONFORM TO HARTSVILLE/TROUBLEDALE WATER SEWER UTILITY DISTRICT STANDARDS, SPECIFICATIONS, PLANS, AND DETAILS.
2. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING PERMISSION AND THE FINAL CONNECTION OF SERVICE.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR CORRECT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. UNDERGROUND UTILITIES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
6. CONTRACTOR SHALL NOTIFY THE UTILITY BEFORE CONNECTING TO EXISTING UTILITY.
7. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
8. ALL UTILITY PIPES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH THE DETAIL DRAWINGS.
9. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLOW WITH PROPOSED PAVEMENT ELEVATIONS. ANY EXISTING MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
10. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
11. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IMPROVEMENTS TO WITHIN FIVE (5) FEET OF PROPOSED ALIGNMENT UNLESS SPECIFIED OTHERWISE. SITE WORK CONTRACTOR SHALL COORDINATE WITH BUILDING CONTRACTOR ON ALL UTILITY BUILDING ENTRANCE LOCATIONS.
12. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
13. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS PRIOR TO SURFACE WORK FOR LIGHT POLES, SIGNALS, ETC. AND SIGNAL STRUCTURES.
14. ALL UTILITIES SHALL BE TESTED TO ENSURE PROPER INSTALLATION.

SANITARY SEWER GENERAL NOTES

1. ALL GRAVITY SANITARY SEWER PIPES SHALL MEET SOBS PVD REQUIREMENTS. SERVICE LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
2. DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
3. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL BEAMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN ACCORDANCE WITH THE PLANS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
4. ALL SANITARY SEWER MAN TESTS SHALL BE IN ACCORDANCE WITH UTILITY COMPANY STANDARDS. ALL TEST RESULTS SHALL BE PROVIDED TO THE OWNERS (OWNER, THE OWNER, AND THE GOVERNING AUTHORITY) PRIOR TO BEGINNING SERVICE.
5. COMPACTION OF ALL TRENCHES WITHIN PUBLIC SITE MUST BE OBTAINED AND COMPACTION RESULTS SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER SYSTEM.
7. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
8. SANITARY SEWER STRUCTURES AND PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAILS ON PLANS.
9. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLOW WITH ASPHALT, AND SHALL HAVE "STAFFED" BEARING COASTING. MANHOLES IN UNPAVED AREAS SHALL BE FOUR (4) INCHES ABOVE FINISHED GROUND GRADE. ALL STORM STRUCTURE LIDS SHALL BE SITUATIONALLY COATED AND LABELED "SANITARY SEWER".

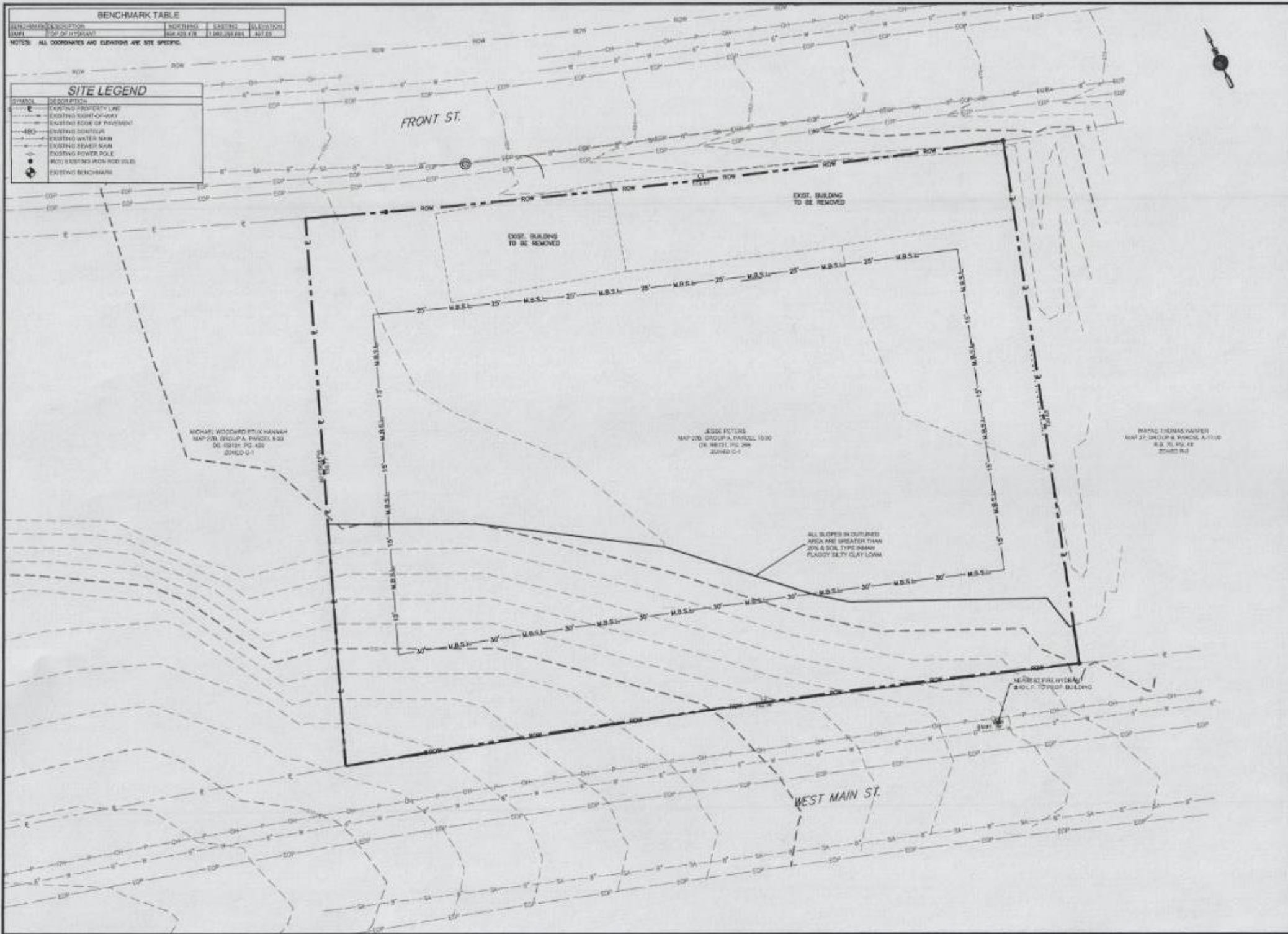
EROSION PREVENTION AND SEDIMENT CONTROLS

1. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE PROPER SOIL EROSION MEASURES FOR PROTECTION OF ALL ADJACENT ROADS, LANES, AND STREAMS. REFER TO S.O.S. MANUAL "RAINWATER AND LAND DEVELOPMENT" AND T.O.E.C. "EROSION & SEDIMENT CONTROL HANDBOOK" FOR REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING AND GRUBBING. THE CONTRACTOR SHALL PROVIDE SEDIMENT CONTROL AT ALL POINTS WHERE STORM WATER LEAVES THE LIMITS OF THE PROJECT. ALL POINTS WHERE STORM WATER ENTERS A STREAM FURT TRAVELERS THE PROJECT, AND ALL POINTS WHERE STORM WATER ENTERS PORTIONS OF COMPLETED UNDERGROUND PIPING.
3. THE CONSTRUCTION SWMS WITHIN THESE PLANS REPRESENT THE MINIMUM REQUIRED OBLIGATIONS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ON-SITE SWMS AS THE PROJECT PROGRESSES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL SEDIMENTARY AND REVERSAL CONTROL PRACTICES TO MAINTAIN CONTINUED PERFORMANCE OF THEIR INTENDED PURPOSES. SHOULD A STRUCTURE OR FEATURE BECOME DAMAGED, THE CONTRACTOR SHALL REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER.

NO.	DATE	DESCRIPTION	BY	CHK
				
JESSE PETERS APARTMENTS FRONT STREET HARTSVILLE, TENNESSEE				
GENERAL NOTES				
				
ISSUED	E.J.W.	DATE	10/02/22	BY
REVISION	J.D.C.	DATE	10/02/22	BY
REVISION	J.D.C.	DATE	10/02/22	BY
REVISION	PHONE	DATE	10/02/22	BY
SHEET G1				

BENCHMARK TABLE			
BENCH. NO.	DESCRIPTION	NORTHING	EASTING
1	TOP OF CURB	104.451	104.451
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SITE LEGEND	
SYMBOL	DESCRIPTION
—	EXISTING PROPERTY LINE
—	EXISTING RIGHT-OF-WAY
—	EXISTING EDGE OF PAVEMENT
—	EXISTING CURBLINE
—	EXISTING WATER MAIN
—	EXISTING SEWER MAIN
—	EXISTING POWER POLE
—	EXISTING BENCHMARK
—	EXISTING BENCHMARK



MICHAEL WOODWARD PT/C/NANASH
MAP 27B, GROUP A, PARCEL 832
DB 98121, PG. 432
ZONING C-1

JESSE PETERS
MAP 27B, GROUP A, PARCEL 1000
DB 98121, PG. 289
ZONING C-1

WYATT THOMAS HAMNER
MAP 27- GROUP B, PARCEL A-1110
R.D. 10, PG. 48
ZONING R-1

ALL SLOPES IN OUTLINED
AREA ARE GREATER THAN
20% & SOIL TYPE IS MAIN
FLUDDY SILTY CLAY LOAM

NEARBY FIRE HYDRANT
400 FT. TO NEARBY BUILDING

<p>JESSE PETERS APARTMENTS FRONT STREET HARTSVILLE, TENNESSEE</p>	
<p>EXISTING SITE LAYOUT</p>	
<p>DATE: 10/05/22</p>	<p>SCALE: 800/101</p>
<p>C1</p>	

SITE DATA INFORMATION

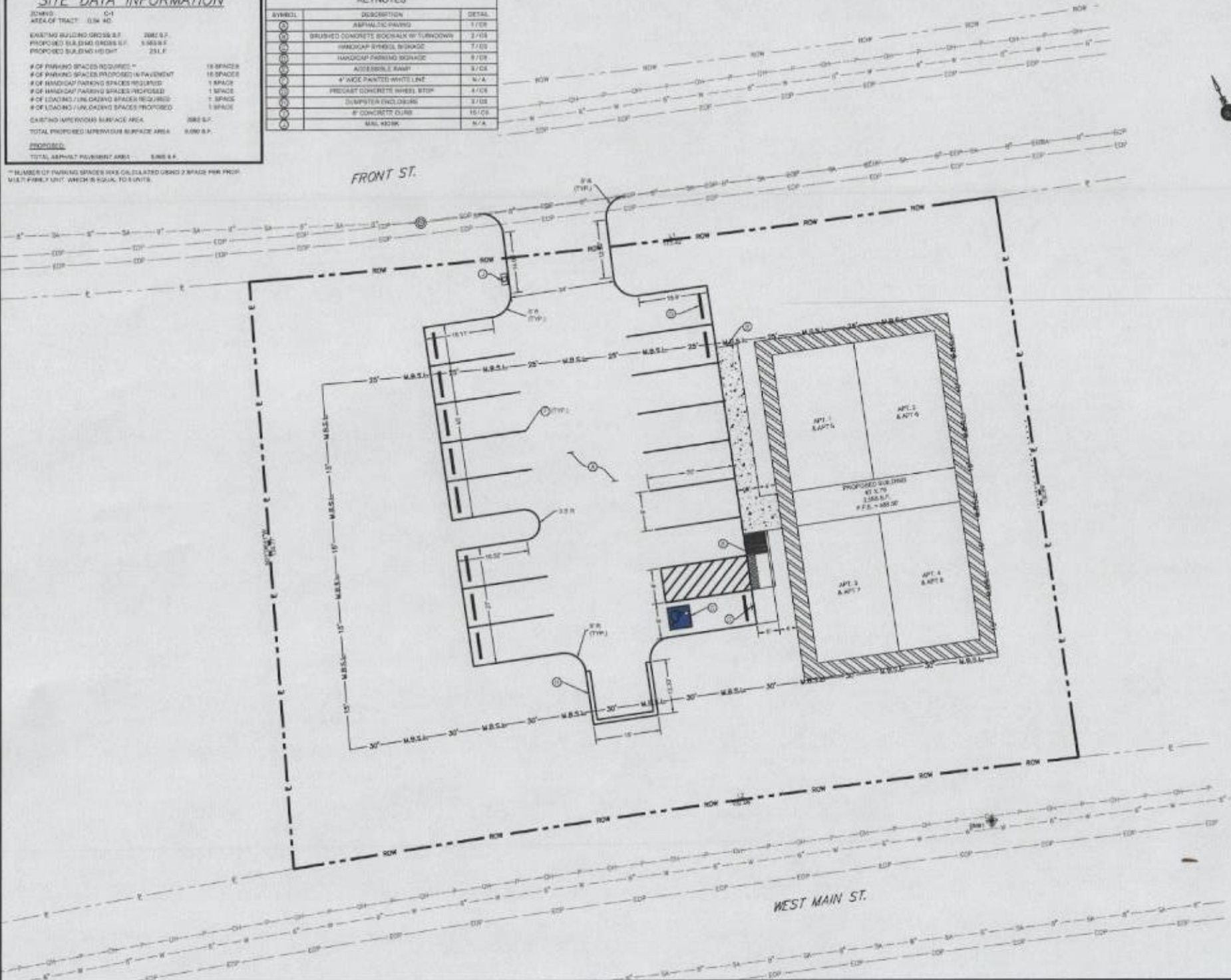
ZONING: C-1
 AREA OF TRACT: 0.34 AC.
 EXISTING BUILDING GROSS S.F.: 2082 S.F.
 PROPOSED BUILDING GROSS S.F.: 3,568 S.F.
 PROPOSED BUILDING HEIGHT: 28.1 FT.

OF PARKING SPACES REQUIRED*: 18 SPACES
 # OF PARKING SPACES PROPOSED IN PAVEMENT: 18 SPACES
 # OF HANDICAP PARKING SPACES REQUIRED: 1 SPACE
 # OF HANDICAP PARKING SPACES PROPOSED: 1 SPACE
 # OF LOADING / UNLOADING SPACES REQUIRED: 1 SPACE
 # OF LOADING / UNLOADING SPACES PROPOSED: 1 SPACE
 EXISTING IMPERVIOUS SURFACE AREA: 2082 S.F.
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 3,568 S.F.

PROPOSED:
 TOTAL ASPHALT PAVEMENT AREA: 5,888 S.F.

* NUMBER OF PARKING SPACES WAS CALCULATED USING 2 SPACES PER 1,000 S.F. OF FLOOR AREA, WHICH IS EQUAL TO 1.8 UNITS.

KEYNOTES		
SYMBOL	DESCRIPTION	DETAIL
(Symbol)	ASPHALT PAVING	7/108
(Symbol)	BRUSHED CONCRETE BOOBALK W/ TURNOVER	2/108
(Symbol)	HANDICAP SYMBOL SIGNAGE	7/108
(Symbol)	HANDICAP PARKING SIGNAGE	9/108
(Symbol)	ADDRESSIBLE SIGN	3/108
(Symbol)	4" WIDE PAINTED WHITE LINE	N/A
(Symbol)	PRECAST CONCRETE WHEEL STOP	4/108
(Symbol)	DUMPS/TER ENCLOSURE	7/108
(Symbol)	8" CONCRETE CURB	18/108
(Symbol)	MAL. WORK	N/A



NO.	DATE	DESCRIPTION	BY	CHKD
1		ISSUED FOR PERMITTING	J.D.C.	E.L.W.
2		REVISED PER CITY ENGINEERING DEPARTMENT	J.D.C.	E.L.W.
3		REVISED PER CITY ENGINEERING DEPARTMENT	J.D.C.	E.L.W.
4		REVISED PER CITY ENGINEERING DEPARTMENT	J.D.C.	E.L.W.

MID-TENN
ENGINEERING CO.
 1000 W. MAIN ST., SUITE 100
 HARTSVILLE, TN 37057
 (615) 886-8888

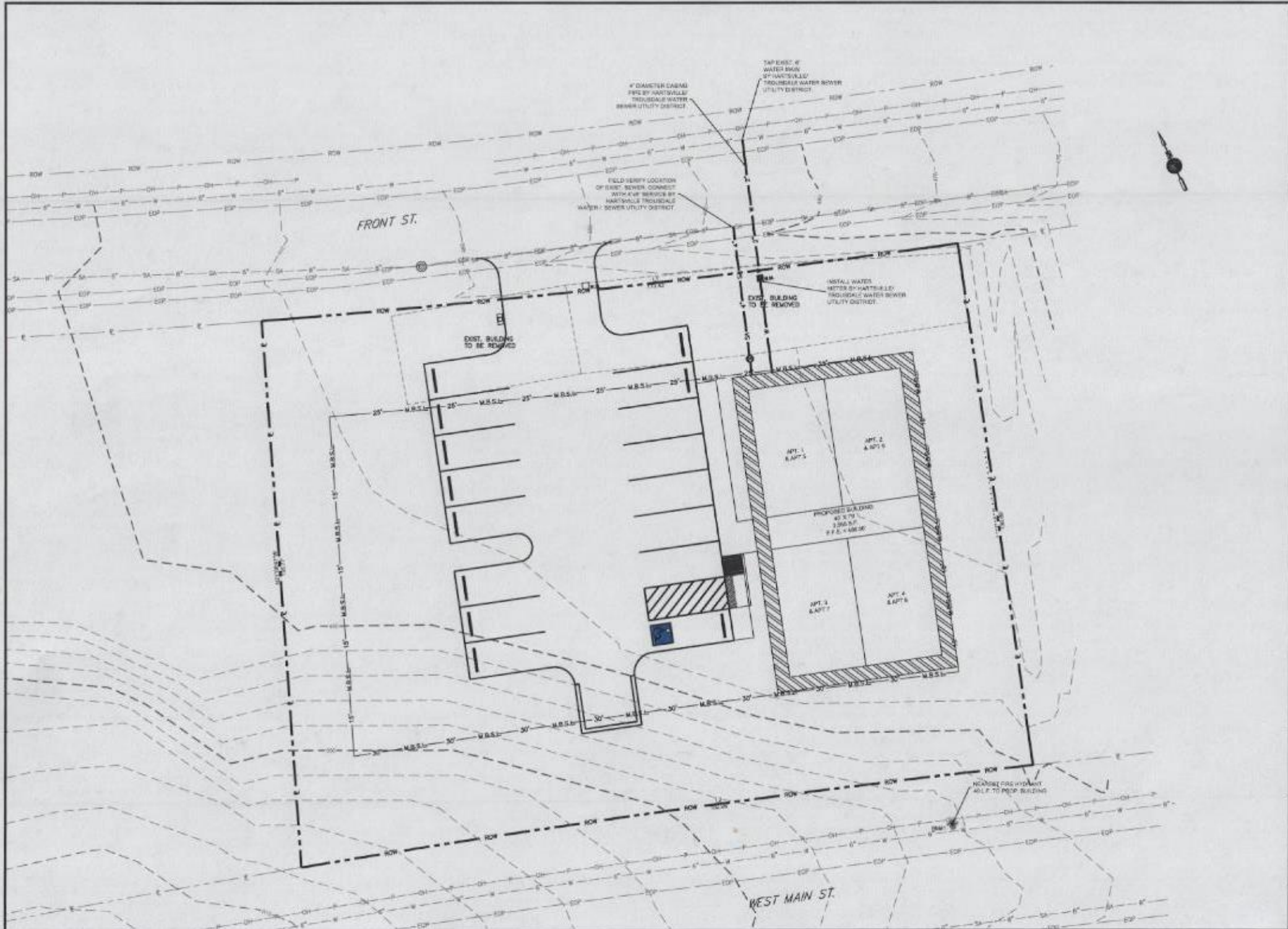
JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

PROPOSED SITE
 LAYOUT

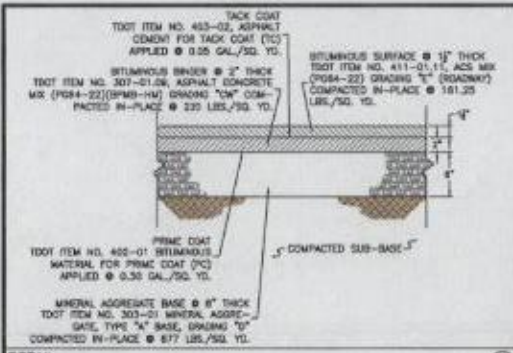


DESIGNER	J.D.C.	E.L.W.
DATE	10/02/23	
SCALE	1" = 10'	8/15/101

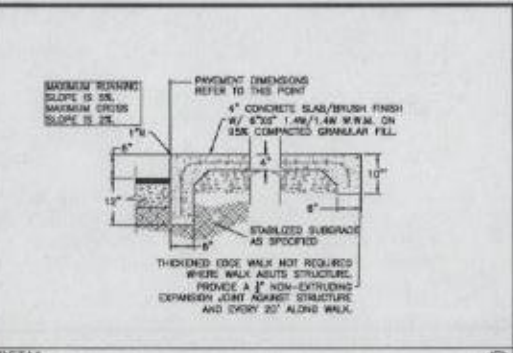
C2



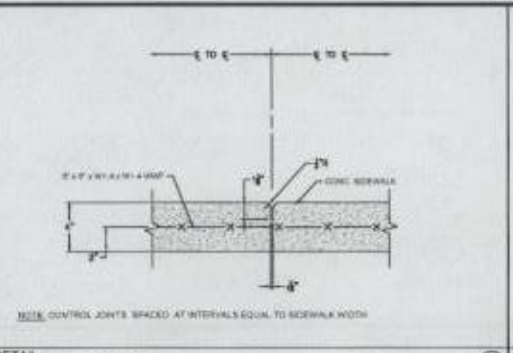
J.D.C.	E.J.W.	J.D.C.	E.J.W.	J.D.C.	E.J.W.	J.D.C.	E.J.W.
DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
BY	BY	BY	BY	BY	BY	BY	BY
REVISIONS							
MID - TENN ENGINEERING CO. 643 SHARKEY ST. #2000 LAFAYETTE, TENN 37243							
JESSE PETERS APARTMENTS FRONT STREET HARTSVILLE, TENNESSEE							
PROPOSED UTILITIES PLAN							
J.D.C.	E.J.W.	DATE	DATE	DATE	DATE	DATE	DATE
10/23	10/23	10/23	10/23	10/23	10/23	10/23	10/23
1" = 10'	1" = 10'	1" = 10'	1" = 10'	1" = 10'	1" = 10'	1" = 10'	1" = 10'
C4							



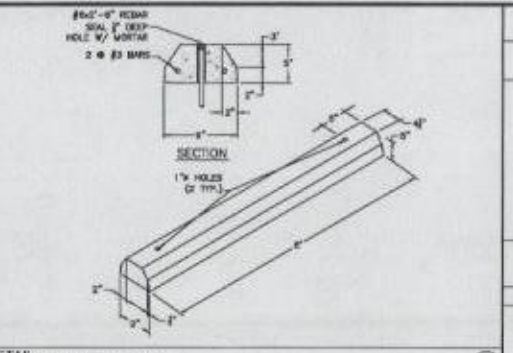
DETAIL ASPHALTIC PAVING SCALE: N.T.S. 1



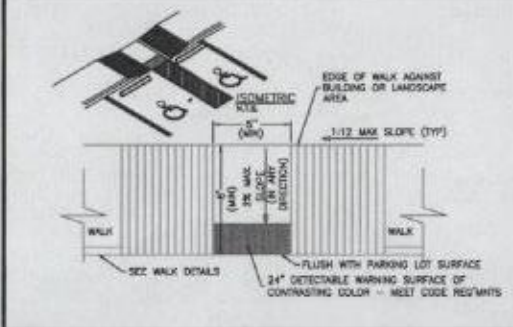
DETAIL BRUSHED CONCRETE SIDEWALK SCALE: N.T.S. 2



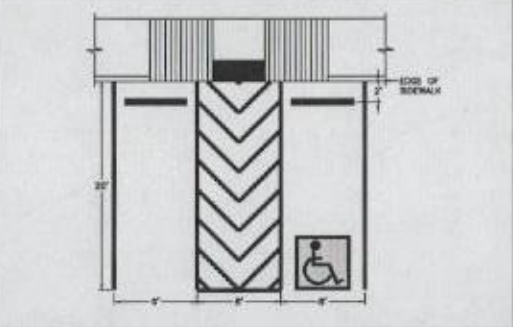
DETAIL SIDEWALK CONTROL JOINT SCALE: N.T.S. 3



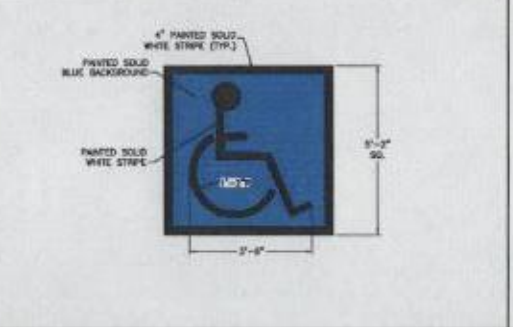
DETAIL PRE-CAST CONCRETE WHEEL STOP SCALE: N.T.S. 4



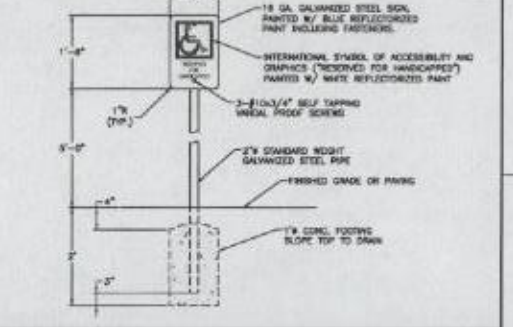
DETAIL ACCESSIBLE PARKING RAMP SCALE: N.T.S. 5



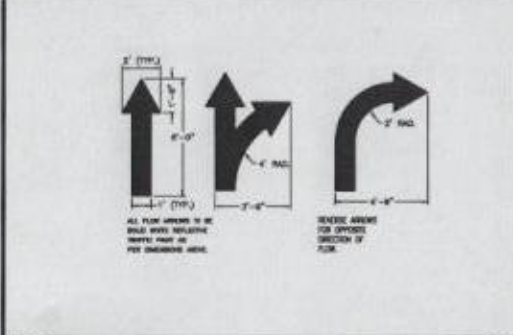
DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. 6



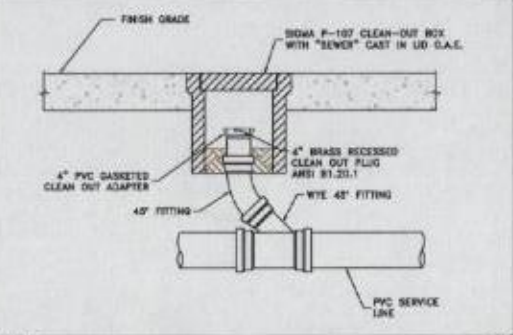
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. 7



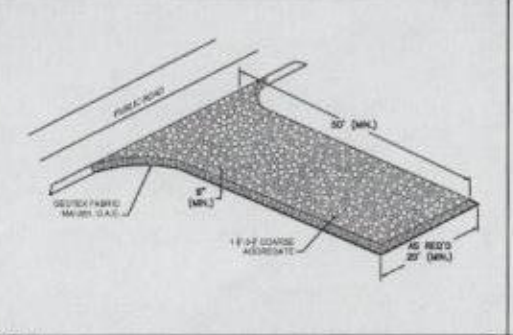
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. 8



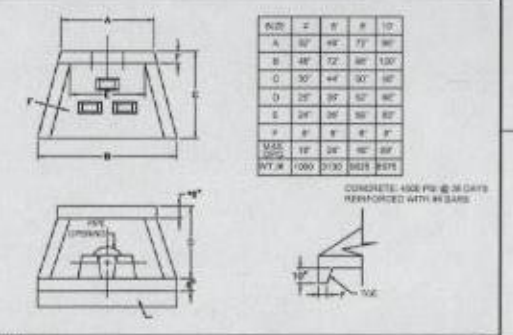
DETAIL PAINTED DIRECTIONAL ARROWS SCALE: N.T.S. 9



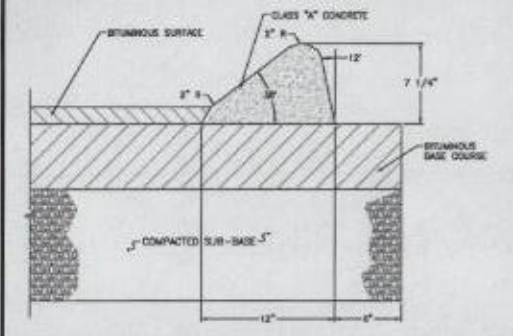
DETAIL TYPICAL TRAFFIC CLEAN-OUT ASSEMBLY SCALE: N.T.S. 10



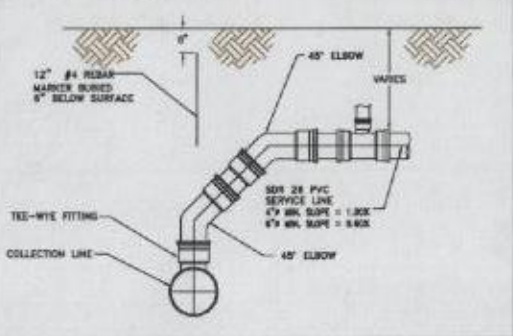
DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. 11



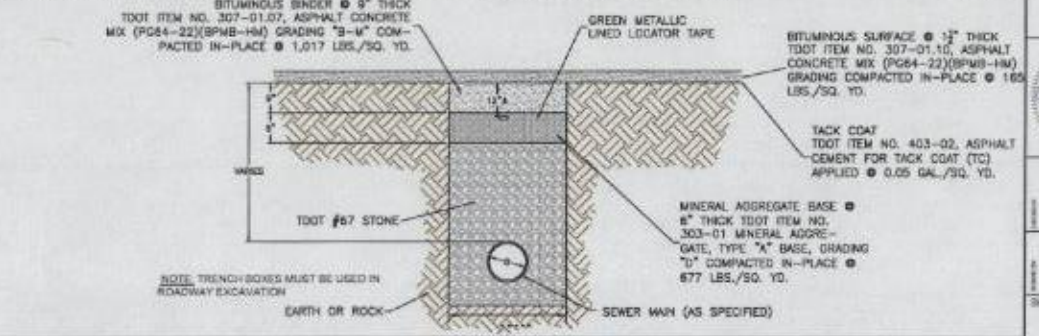
DETAIL PRECAST HEADWALL W/ DISPATERS SCALE: N.T.S. 12



DETAIL EXTRUDED 6\"/>



SECTION INSTALLED GRAVITY SERVICE DETAIL SCALE: N.T.S. 13



DETAIL SEWER TRENCH IN BITUMINOUS SURFACE SCALE: N.T.S. 14

DATE	DESCRIPTION	BY	CHECK

MID-TECH ENGINEERING CO.
 1000 BIRCHWOOD DRIVE
 LAWRENCEVILLE, GA 30046

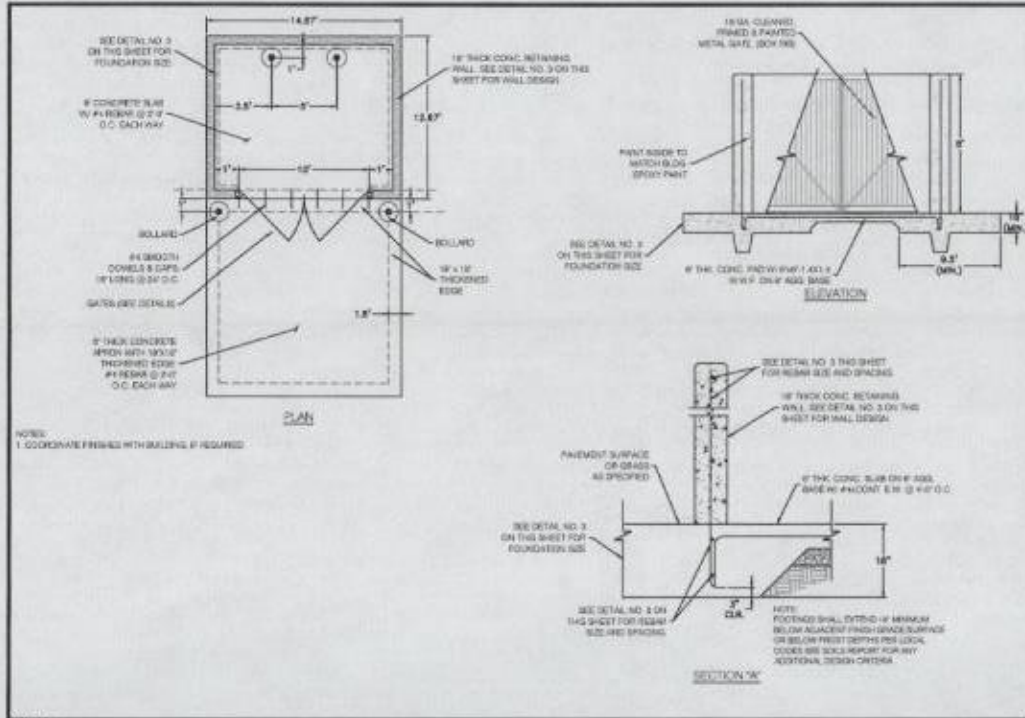
JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS

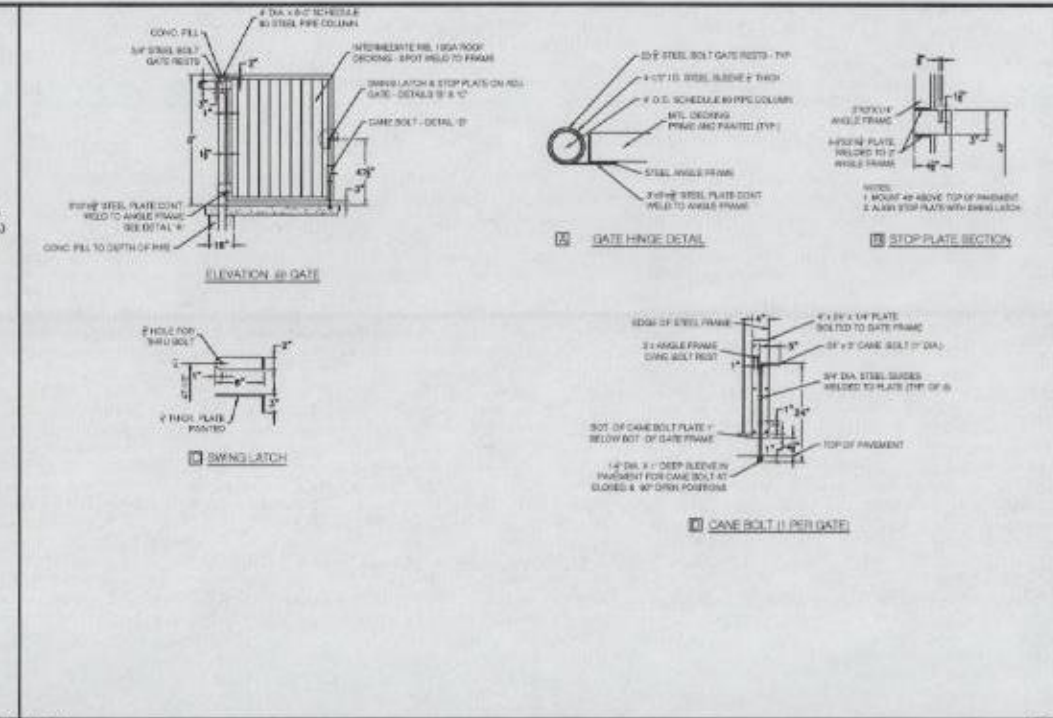


DATE	E.L.W.	DATE	SCALE
		10/20/22	AS NOTED

C5

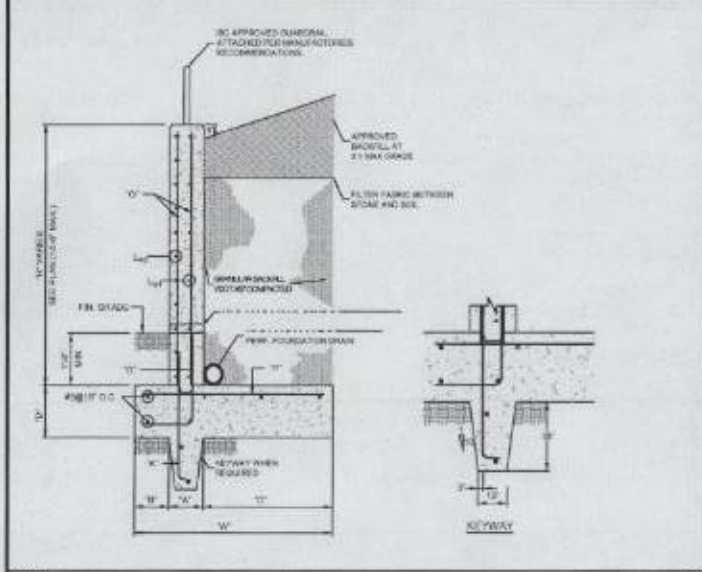


DETAIL SINGLE DUMPSTER ENCLOSURE SCALE: N.T.S. ①

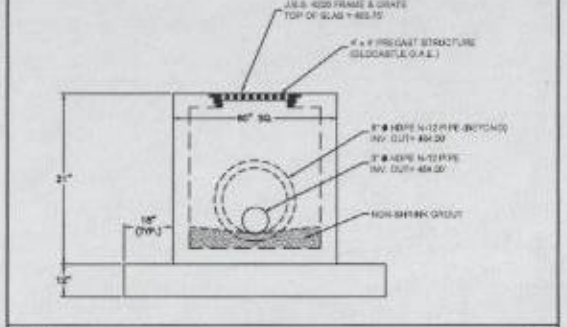


DETAIL DUMPSTER GATE DETAILS SCALE: N.T.S. ②

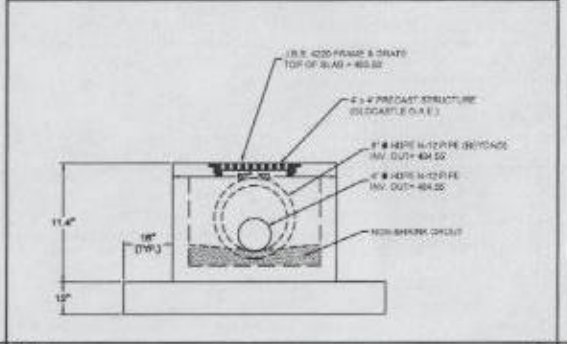
HEIGHT	W	BASE					REINFORCING BARS			
		W	K	S	C	D	1	2	3	4
UP TO 4 FT.	2'-0"	0'-10"	5'-0"	1'-0"	1'-0"	N.A.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.
4 FT. TO 12 FT.	4'-0"	2'-10"	5'-0"	2'-0"	2'-0"	N.A.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.
12 FT. TO 14 FT.	7'-0"	1'-0"	2'-0"	5'-0"	1'-0"	N.A.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.
14 FT. TO 14.5 FT.	9'-0"	1'-0"	2'-0"	5'-0"	1'-0"	#5 @ 9" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.	#5 @ 12" O.C.



DETAIL TYPICAL RETAINING WALL SCALE: N.T.S. ③



DETAIL OUTLET CONTROL STRUCTURE #1 SCALE: N.T.S. ④



DETAIL OUTLET CONTROL STRUCTURE #2 SCALE: N.T.S. ⑤

MID-TENN ENGINEERING CO.
 1000 W. HART STREET
 HARTSVILLE, TENNESSEE 37077
 (615) 241-1111

**JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE**

STANDARD SITE DETAILS

C6

DATE	BY	CHKD	APP'D



REV. No.	DATE	DESCRIPTION	DWG. BY

Notes:
 Overburden will be managed with erosion control, revegetation, and other best management practices. A portion of the overburden is designated to be used for the quarry or sold as aggregate. The remaining portion of the overburden will be placed in the active overburden storage area. The active overburden storage area will be managed in accordance with the approved plan. The plan is subject to change without notice.

Key

- Property Boundary
- 10' Contour
- Overburden Storage
- Proposed Area
- Structure or Building
- Waterway

Notes

Mineral Concepts:

1. Mine Phase 1 (P1)
 - 1.1. Overburden is stockpiled in the designated overburden storage area.
 - 2.1. Overburden is used to backfill the Phase 1 pit.
2. Mine Phase 2 (P2)
 - 2.1. Overburden is used to backfill the Phase 2 pit.
 - 2.2. Pit to be reamed with the benefit of the Phase 1 pit.

Non-ferrous Materials Handling Concept:

- Dry non-ferrous materials will be conveyed with overburden and placed in the active overburden storage area.
- The non-ferrous materials will be conveyed and conveyed with overburden and placed in the active overburden storage area.
- If used, settling ponds (or dikes) will be located near the overburden storage area or the pit backfill area.



SITE PLAN
HUNTERS POINT QUARRY
HUNTERS POINT QUARRY, LLC.
 2250 State Road 237
 TROUSDALE COUNTY, TENNESSEE

JOB NO.	SITE
SCALE	DWG. NO.
DATE	DATE
DESIGNER	DATE

QUARRY OPERATIONS PLAN

for

Hunters Point Quarry, LLC.



695 Nashville Pike
Suite #329
Gallatin, TN 37066

+/-147.55 acres located at
Hwy 231 S 1250
Castalian Springs TN 37031
Trousdale County, Tennessee

June 30, 2022

Hunters Point Quarry, LLC. Trousdale County, Tennessee Quarry Operations Plan

Introduction:

The Hunters Point Quarry is generally located at Hwy 231 S 1250 Castalian Springs TN 37031. The parcels currently consist of a mixture of undeveloped woodland, private farm fields, a single-family residence constructed in 1979, and three non-historic outbuildings, including a utility building, loft barn, and agricultural barn.

The 147.55-acre project area is located within Middle Tennessee's Central Basin physiographic region. Topographically, the property consists of two hilltops on a low ridge on the inside of a meandering bend of the Cumberland River. This landform is bound by the Cumberland River floodplain on the south, east, and west sides. The western edge of the property is bound by US 231 (SR-10), and the remaining boundaries are based on current private property ownership. Elevations within the project area are between 480-620 feet above mean sea level. This elevation discrepancy leaves the project area well-drained of surface water.

Purpose:

Hunters Point Quarry, LLC. has carried out extensive due diligence and identified a high-quality aggregate resource deposit, suitable for construction aggregates, which are critical to local and regional infrastructure projects.

Operational Details:

(i) The date proposed to commence operations and their expected duration;

The date proposed to commence operations is January 2023, after all local, state and Federal permits are reviewed and approved.

(ii) Proposed hours and days of operations;

The quarry will only operate between 7:00 a.m. and 7:00 p.m. on Mondays through Fridays and 7:00 a.m. through 4:00 p.m. on Saturday. The quarry will be closed to shipping on Sundays. No blasting will occur on weekends or on the following holidays: Christmas, Easter, Thanksgiving Day, New Year's Day, July Fourth, Memorial Day and Labor Day.

(iii) Estimated type and volume of extraction;

The type of materials to be extracted is Limestone.

The production schedule will greatly depend on market conditions. At present, the Hunters Point Quarry is expected to produce 500K to 1M tons per year.

(iv) Description of method of operation, including the disposition of topsoil, overburden and by products;

Due to the depth and mass of the rock underlying the overburden, mechanical means of extraction, i.e., backhoe, power shovel and / or front-end loading machines cannot remove the material. Developing the Hunters Point Quarry will involve removing the overburden using conventional excavation equipment and exposing the limestone.

A majority of all of the overburden will be used to construct the screening berms and other site earthwork and balance. The side slopes of the overburden storage areas will be no steeper than 3-horizontal to 1-vertical. All overburden storage areas will be grassed.

The limestone will then be blasted using modern, highly controlled technology to break the material into smaller, unconsolidated parts, which will allow for excavation. The material will be loaded into trucks that will dump the material into the primary crusher hopper or to create a feed stockpile located close to the primary dump hopper that can be fed later with a loader. The blasted limestone will then be truck and/or conveyed to the processing plant for further crushing, washing and stockpiling by product specification and stockpiled for delivery to customers.

Plant dust emissions will be controlled by a wet suppression system. Haul road and stockpile dust will be controlled with a water truck with rear spray bar.

(v) Methods to control and respond to spillage of extracted materials, overburden or by products and vehicular mud on off site roads.

The onsite road from the entrance to the plant will be paved. A truck tire wheel wash will be provided at the plant for cleaning tires before moving onto the paved roads. Track out of materials will be prevented by regular wet sweeping of the roadways.

Overburden storage areas will be stabilized with grass to prevent dust from blowing off the site. Vehicle speed on quarry property will be limited to 15 mph to minimize vehicle-related dust. Loaded trucks leaving the site will be covered to limit dust generation.

Active dust control measures using the latest technology and best practices, such as water trucks and wet stockpiles, not only will ensure a safe work environment for the employees, contractors, and visitors inside the quarry but also protect the surrounding community from any dust that might otherwise be blown off-site. Hunters Point Quarry, LLC. will utilize dust control engineering controls such as fog cannons, which are an effective tool for controlling dust from blasting and stockpiling, covering a large area with small water droplets that easily cling to the dust particles and keeps them from leaving the property.

Other engineering controls will include covers, enclosures, spray bars, and foam applicators, and other tools used to capture and contain dust from the operation.

Dust monitors will also be used to generate reports and ensure dust levels in critical locations never exceed the permitted levels.

(vi) Description of equipment to be used in the extraction process;

The equipment used will include typical earthmoving equipment including front end loaders, haul trucks and backhoes. A drill rig will be used to advance drill holes used for blasting.

(vii) Methods to prevent pollution of surface and ground water.

No chemicals are proposed to be used to quarry and process the limestone at the Hunters Point Quarry.

As typical in any site development, stormwater runoff will be managed by use of diversion swales, silt fencing and other standard best management practices. A portion of the stormwater has been designed to drain back into the quarry area. Excess stormwater will be channeled/diverted to sediment control basins. Following diversion to the proposed sediment basins, any water discharged from the site will be routed through an approved point discharge structure. The proposed operation and associated discharge will be authorized via a National Pollutant Discharge Elimination System (NPDES) issued by the State of Tennessee. The NPDES permit will require the Hunters Point Quarry to divert all excess stormwater to the diversion swales and sediment basins, as well as carry out extensive sampling, analysis and reporting, all of which will be publicly available.

(vii) Description on anticipated compliance with the State Sediment and Erosion Control and Stormwater Management provisions. This will need to include a specific explanation on how the site will address impacts to identified wetlands located on the property;

As required by the State of Tennessee, state approved erosion and sedimentation control plans will be prepared and implemented to prevent pollution of runoff from the site. Where discharges from sedimentation basins are planned, all of the water quality requirements of the National Pollutant Discharge Elimination System (NPDES) that will be issued to the site will be adhered to, monitored and reported.

All of the onsite aquatic features have been delineated per state and federal regulations. Hunters Point Quarry has submitted the delineation of the wetland lines to the Army Corps of Engineers. No wetland impacts are proposed.

(ix) Proposed property reclamation plan

Hunters Point Quarry will be reclaimed as open water lakes, wetlands, wooded areas, and grasslands. Any remaining berms or stockpiles will be sloped to a minimum of a 3:1 grade and vegetated with the appropriate ground cover for soil stabilization.

A bond will be required based on the amount of land disturbed by quarrying activities.

(x) Archaeological

An Archaeological Reconnaissance Survey was completed which indicates no previously documented archaeological sites that will be in the area proposed for development.

(xi) Additional Measures:

In addition to compliance with local, state and Federal requirements, Hunters Point Quarry, LLC. will also implement the following measures:

Good Neighbor Policy: Hunters Point Quarry, LLC. has developed a "Good Neighbor Policy" to address concerns about quarrying activities causing impacts to property values, adjacent structures, and nearby private wells.

Blasting Protocols

Blasting is an essential and highly-regulated aspect of quarrying operations and is necessary to fracture the rock so it is small and loose enough to be removed from the ground. When blasting, Hunters Point Quarry, LLC. will incorporate modern and highly controlled technology to protect natural and manmade features and surrounding neighbors. Blasting at Hunters Point Quarry will only be scheduled during the day Monday through Friday, and only a few times per month.

Blasting Notifications

Hunters Point Quarry, LLC. will enable neighboring property owners who request it to be contacted in advance of blasts to be added to an email or telephone list for notification. In our experience, interest in being on this list wanes substantially once neighbors realize that a blast is not what it was initially perceived to be.

Structures

Although Hunters Point Quarry will blast at levels where it is statistically impossible to cause structural or cosmetic damage to nearby structures or wells, it will nonetheless take steps to provide written assurances.

Neighbors of the property may request a pre-blast inspection of structures on his or her property prior to Hunters Point Quarry commencing blasting activities.

Inspections will be scheduled at mutually convenient times and conducted at Hunters Point Quarry's expense, by an independent seismologist. A property owner requesting a pre-blast inspection of structures on his or her property will need to (i) permit the inspector access to the property, (ii) consent to the inspection and to having his or her property photographed, conditions cataloged, and notations made of any visible damage or other anomalies; and (iii) sign a release for the structural inspection. Subject to allowing a pre-blast inspection, Hunters Point Quarry will offer such property owners a Structural Guarantee that quarry operations will not cause damage to the structures on their property.

Wells

Hunters Point Quarry is confident that neighbors' wells will not be impacted and a mitigation plan is being developed to ensure there are no impacts to nearby wells. Nonetheless, upon request of neighbors, Hunters Point Quarry, LLC. will schedule an inspection of their well(s) at mutually convenient times and at Hunters Point Quarry's expense.

Subject to allowing such well inspections, Hunters Point Quarry will offer such property owners a Water Well Guarantee that quarry operations will not have a material adverse impact on their water well(s).

Property Values

Hunters Point Quarry knows from experience with quarries in this and other states that its operations will not be reflected in the sales prices of homes in the area. Hunters Point Quarry will provide a written property value guarantee to neighbors who requests it.

6/8/22
MR# 3363

ZONING CHANGE

PARCEL INFORMATION

Current Zoning R2 Requested Zoning R3 Reason Build Townhouse
Property Owner Ron & Grace Moreland Phone _____
Property Address Stott Street, Hartsville, TN 37074
Lot Size 8,944.8sf 0.21 ACRES Road Frontage _____ ft. Easements _____ ft
Tax Map Number 27B Group A Parcel 037.00 Record/Deed Book 40
Subdivision Name _____ Phase _____ Lot # _____
Water Source HTC WATER Sewer or Septic SEWER

APPLICANT INFORMATION

Applicant Name Ron & Grace Moreland Phone _____
Mailing Address _____ TN _____
Email: _____

IMPACT INFORMATION

Zoning of Surrounding Properties R-2 potentially other R-3
Names of Surrounding Property Owners JOHN OLIVER; WAYNE THOMAS HARPER;
SCOTTY ENOCH; CARLOS CARR; SALLIE BURNLEY
Affected Roads Stott Rd; MORRISON
Schools Affected _____
Public Utilities HTC WATER; TRICOUNTY ELECT

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____
Reviewed by BZA _____ Action _____
Zoning Ordinance at County Commission
1st Reading _____ Action _____
Public Hearing _____ Action _____
2nd Reading _____ Action _____
Passed _____ Failed, state reason _____

Ron Moreland

Applicant Signature

6-8-22

Date Submitted

\$100 Application fee

Trousdale County - Parcel: 027B A 037.00



Date: June 24, 2022
County: Trousdale
Owner: HARTSVILLE TROUSDALE COUNTY GOVERNMENT
Address: STOTT ST
Parcel Number: 027B A 037.00
Deeded Acreage: 0
Calculated Acreage: 0
Date of Imagery: 2017

Property Owners:
Ron and Grace Moreland

Rezone R-2 to R-3

State of Tennessee, Comptroller of the Treasury, Department of Property Assessment (DPA) – Geographic Services
TDOT

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

6/8/22
MR#3362

ZONING CHANGE

PARCEL INFORMATION

Current Zoning R2 Requested Zoning R3 Reason Build Townhouse
Property Owner Grace & Ron Moreland Phone _____
Property Address 108 Morrison Street Hartsville TN 37074
Lot Size 0.09 acres 3,878.4 SF Road Frontage _____ ft. Easements _____ ft
Tax Map Number 27B Group A Parcel 037.01 Record/Deed Book _____
Subdivision Name _____ Phase _____ Lot # _____
Water Source city Sewer or Septic SEWER

APPLICANT INFORMATION

Applicant Name Ron & Grace Moreland Phone _____
Mailing Address _____ Hartsville TN 37074
Email: _____

IMPACT INFORMATION

Zoning of Surrounding Properties R2
Names of Surrounding Property Owners Willie, DEBRA DALTON, WAYNE & KAY HARPER
HTC GOVT JOHN OLIVER, SALLIE, TYRONE BURNLEY, LINDA McDONALD
Affected Roads MORRISON ST
Schools Affected _____
Public Utilities HTC WATER, TRI COUNTY ELECTRIC

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____
Reviewed by BZA _____ Action _____
Zoning Ordinance at County Commission
1st Reading _____ Action _____
Public Hearing _____ Action _____
2nd Reading _____ Action _____
Passed _____ Failed, state reason _____

Ron Moreland

Applicant Signature

6-8-22

Date Submitted

\$100 Application fee

Trousdale County - Parcel: 027B A 037.01



Date: June 24, 2022
County: Trousdale
Owner: MORELAND RON
Address: MORRISON ST 108
Parcel Number: 027B A 037.01
Deeded Acreage: 0
Calculated Acreage: 0
Date of Imagery: 2017

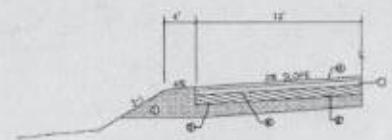
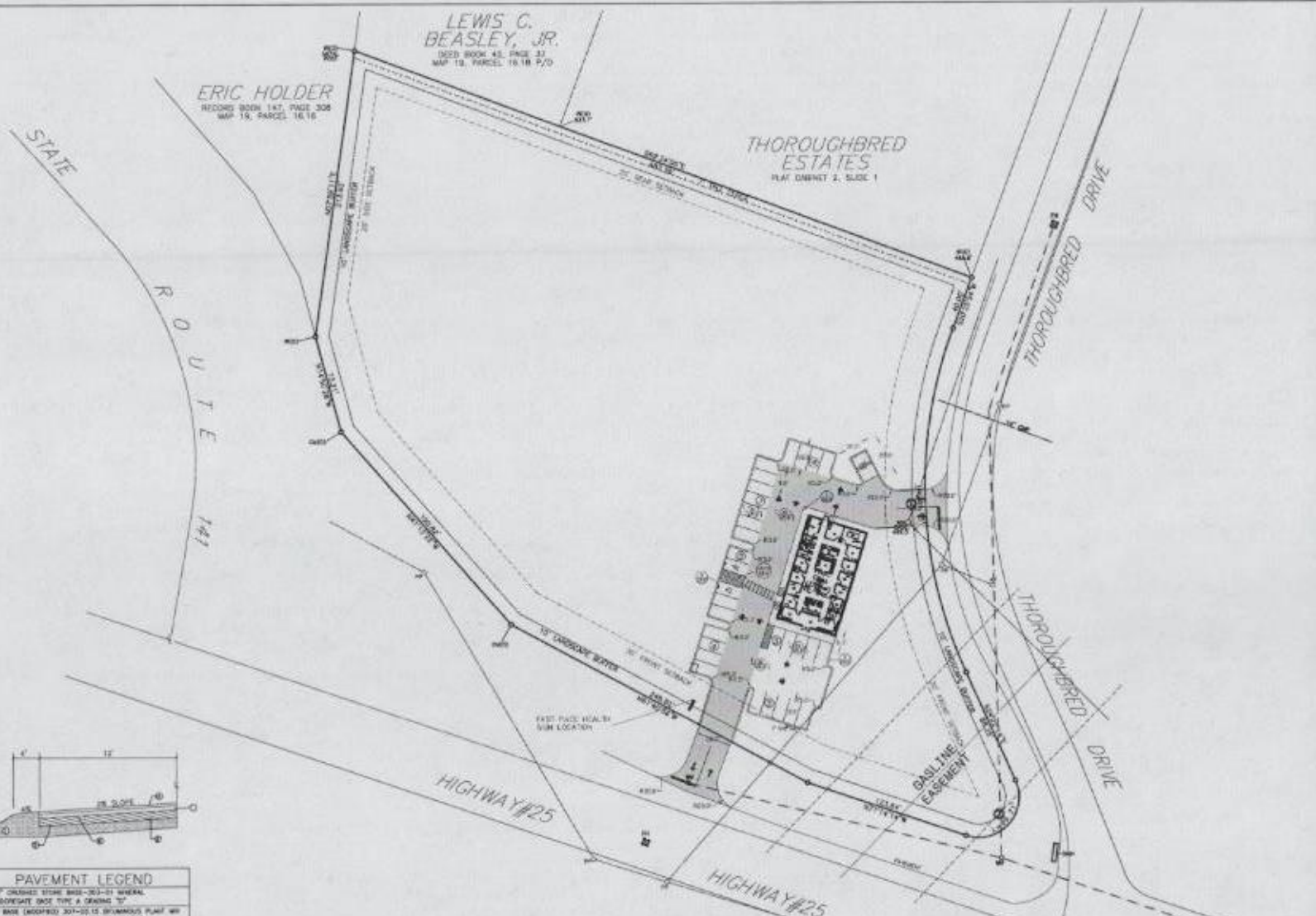
Rezone R-2 to R-3

State of Tennessee, Comptroller of the Treasury, Department of Property Assessment (DPA) - Geographic Services
TDOT

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

GENERAL CONSTRUCTION NOTES

- PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. EASING, CLEARING AND THE ERECTION OF PERIODIC ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS BEFORE BEGINNING CONSTRUCTION.
- VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY CONSTRUCTION INSPECTOR OFFICE & ENGINEER OF ANY VIOLATIONS PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL DRAINAGE CONTROL MEASURES PRIOR TO STARTING CONSTRUCTION. SEE SPECIFIC NOTES, DRAWINGS, & DETAILS FOR MEASURES REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY EXISTING EASMENT, EGRESS, PRIVATE TRACES AND WALLS, CONCRETE CURBS OR SIDEWALKS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY TRENCH STABILIZATION REQUIRED BY SOAK CONSTRUCTION DRAINAGE FOR ENCLOSURES IN CFS SHED 1500, SUBPART A.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION RELATED SURVEYS, INCLUDING ALL LAYOUT AND SPREAD STAKING. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR TECHNOLOGICAL WEAR.
- THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 98% PROCTOR DENSITY (FROM 0-8") WITHIN 24" OF SPREAD MOISTURE CONTENT IN LOTS NOT TO EXCEED 8000 SQ YARDS OF COMPACTED VOLUMES.
- ALL REMOVAL OF EXISTING UTILITIES INCLUDING REMOVAL SHALL BE SOONER MARKED, REPAIRED AND OR REINSTALLED AS REQUIRED TO MAINTAIN CONTINUED USE.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE NOT NECESSARILY SHOWN. ALL UTILITIES SHALL BE RESPONSIBLY RELOCATED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREET BORDERING THE PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION LIMITS, WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT. ALWAYS WORK ON THE PROJECT FOR THE LOCATION OF EXISTING UTILITIES CALL TO ONE CALL AT 811.
- ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR ADVERSELY AFFECTED.
- EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ON THIS PLAN ARE DERIVED FROM A FIELD AND TOPOGRAPHIC SURVEY FROM CANAL SURVEYS.



TOTAL AREA OF DISTURBANCE = .98 AC. +/-
 EX. IMPERVIOUS AREA = 0.00 AC. +/-
 PROP. IMPERVIOUS = .46 AC. +/-

PAVEMENT LEGEND	
1	1" CRUSHED STONE BASE (20-30) GENERAL
2	ADAPTIVE BASE TYPE A CEMENT 1"
3	4" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
4	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
5	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
6	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
7	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
8	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
9	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)
10	1" BASE (MODIFIED 304-10) IS SUBGRADE PLANT MIX (EMULSION SAND & LIME) (100/100)

TYPICAL 100' ROW PAVEMENT SECTION



THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

Owner/Developer Info:
 100' ROW DISTANCE
 100' ROW DISTANCE
 100' ROW DISTANCE
 100' ROW DISTANCE

Land Data:
 100' ROW DISTANCE
 100' ROW DISTANCE

Proprietary Info:
 100' ROW DISTANCE
 100' ROW DISTANCE

Total Floor Area:
 100' ROW DISTANCE
 100' ROW DISTANCE

Design Reference:
 100' ROW DISTANCE
 100' ROW DISTANCE

Field Requirements:
 100' ROW DISTANCE
 100' ROW DISTANCE

Intended Use:
 100' ROW DISTANCE
 100' ROW DISTANCE

Parking:
 100' ROW DISTANCE
 100' ROW DISTANCE



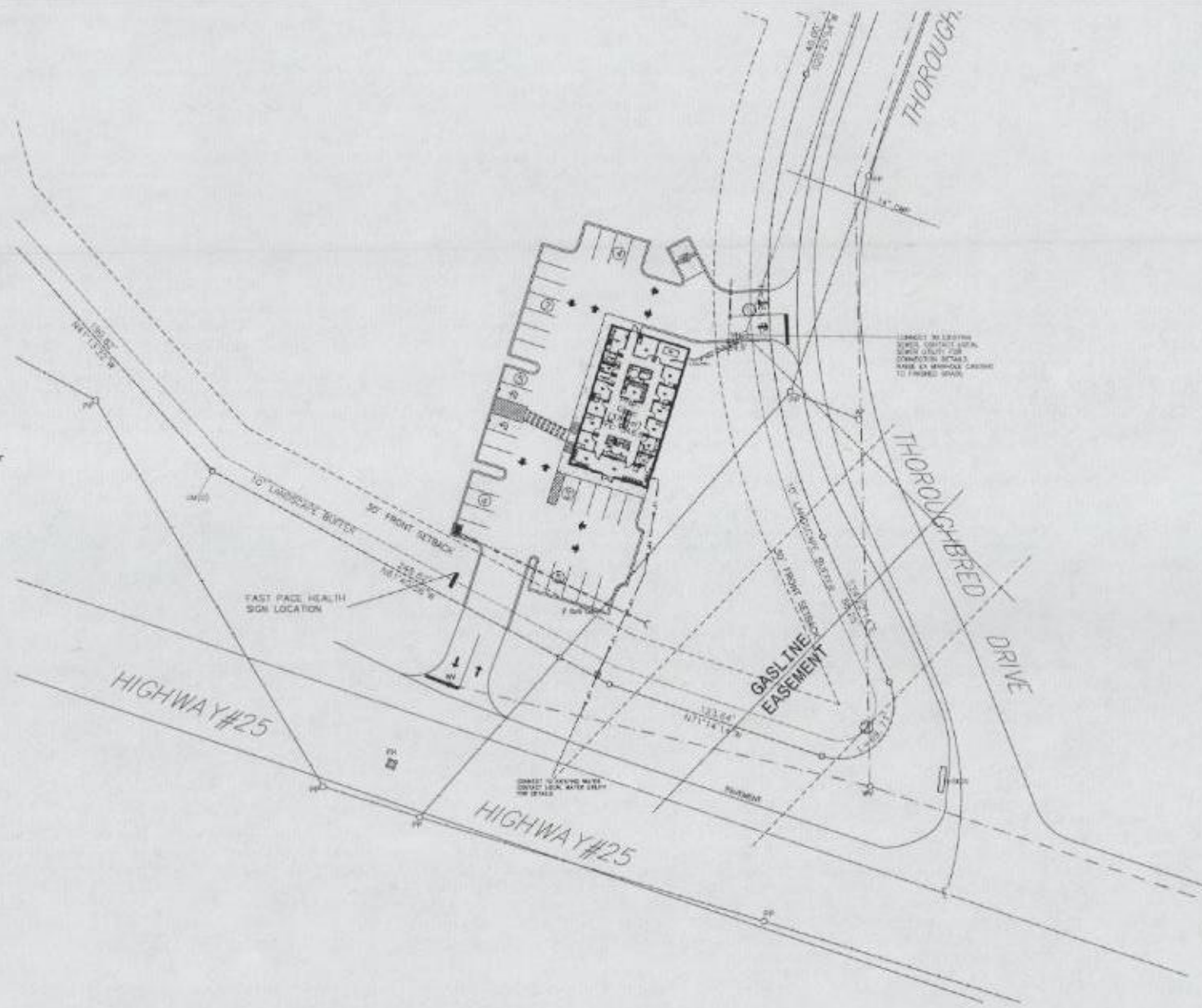
MB CIVIL
 ENGINEERING, LLC
 700 ARLEY RD. HARTSVILLE, TN 37074
 (615) 271-1827

FAST PACE HEALTH
 HIGHWAY 25 THOROUGHRED DRIVE
 HARTSVILLE, TN 37074

PROJECT	FAST PACE HEALTH
DATE	JUNE 14, 2023
DRAWN	C-1.0
SCALE	AS SHOWN
22011	

GENERAL NOTES

- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR SHALL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT WILL BE INCLUDED IN THE PRICE, AND FOR OTHER PERIODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY EACH AFFECTED UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROVIDE LOCUS THEIR RESPECTIVE UTILITY ON THE SPREAD. THE INFORMATION SHALL BE GIVEN AT LEAST 30 BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITIES.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF COULERS IN SUCH MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DITCHES ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF RE-INS/CONNECTIONS TO THESE FACILITIES.
- ALL UNDERGROUND UTILITIES (WATER, SEWER, STORM SEWER, ELECTRIC, CABLE, TELEVISION, SLEEVES, AND ANY OTHER APPROPRIATE) SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF ANY CONCRETE MATERIAL.
- LOCATION OF ANY UTILITIES SHALL BE MARKED WITH PROPER UTILITY COMPANY PROVIDED MARKING.
- UTILITY CONNECTIONS WILL BE RESPONSIBLE FOR ALL TAP AND TIE IN FEES REQUIRED, AS WELL AS COST OF UNDERPASSING SERVICE CONNECTIONS TO THE LOTS.
- THE CONTRACTOR SHALL PROVIDE A DRAINAGE CATCH BASIN AT THE SITE FOR HIS USE AND AT OTHER LOCUS OF THE SPECIFICATIONS AND DRAWINGS SHALL BE KEPT. THE CONTRACTOR SHALL ALSO DISPOSED TO THE OWNER A HISTORY TO BE MAINTAINED IN CASE OF EMERGENCIES OTHER THAN DURING WORKING HOURS AND ON HOLIDAYS AND WEEKENDS.
- STREETS SHALL BE GRANTED TO SUBGRADE BEFORE WATER LINES AND SANITARY SEWERS ARE INSTALLED.
- THE OWNER/DEVELOPER FOR BIDDING PURPOSES, SHOULD CHECK WITH THE LOCAL UTILITY DEPARTMENT FOR CONNECTION FEES WHICH MAY BE SUBSTANTIAL.
- CONNECTIONS FOR WATER AND SEWER WORK MUST BE APPROVED BY THE CITY UTILITY DEPARTMENT.
- IN THE EVENT IT IS A REQUIREMENT FOR ANY UTILITY WHO EMERGES IN SITUATION, MUST NOTIFY ALL OTHER UTILITY OWNERS, NO LESS THAN THREE AND MORE THAN TEN WORKING DAYS PRIOR TO THEIR INTERFERED OPERATION. A LIST OF THESE UTILITY OWNERS MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITY OWNERS WHO PARTICIPATE IN THE TENDERED ONE CALL SYSTEM CAN BE NOTIFIED TOLL FREE AT 811.



Bullet Legend

	Detail #14
	Sheet C-2.0

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



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FAST PACE HEALTH
HIGHWAY 25/THOROBRED DRIVE
HARTSVILLE, TN 37074

PROJECT	
REVISION DATE	
DATE	JUNE 14, 2023
SCALE	C-2.0
SHEET	06
DATE	12/21/11





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1000 W. WOODLAND DRIVE, CHATTANOOGA, TN 37415
TEL: 423.247.1000 FAX: 423.247.1001

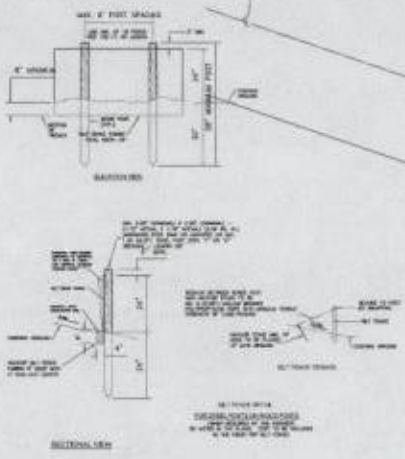
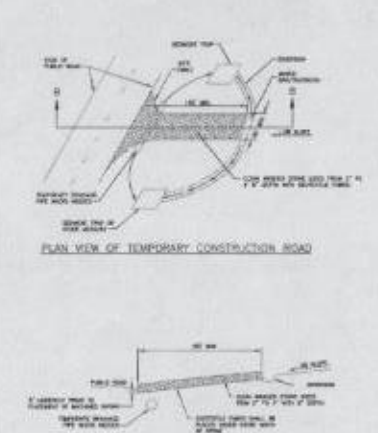
FAST PACE HEALTH
HIGHWAY 25/THOROBRED DRIVE
HARTSVILLE, TN 37074

PROJECT	
DATE	JUNE 14, 2023
SCALE	C-3.0
SHEET NO.	6
DATE	

- GENERAL EROSION CONTROL NOTES**
1. ALL ROCK CUT OR FILL AREAS LACKING ASSURE VEGETATION SHALL BE REVEGETATED, MULCHED AND SEEDED AND FOR SEEDING TO EFFECTIVE CONTROL SOIL EROSION.
 2. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
 3. A COPY OF THE EROSION CONTROL PLAN MUST BE AVAILABLE ON SITE FOR THE CNIC INSPECTOR ON REQUEST. SEE SUGGESTED LOCATION ON PLAN.
 4. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATION BEGINS, AND MUST BE MAINTAINED AND REPAIRED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REPLACED AT THE END OF THE WORK DAY, OR PRIOR TO RAINFALL EVENTS.
 5. ALL CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY NO LESS THAN 72 HOURS APART AND SHALL MAINTAIN 50% OF ITS DESIGN CAPACITY AT ALL TIMES.
 6. ALL EXCAVATIONS AND CLEARINGS SHALL BE COVERED TO PREVENT ANY SURFACE FROM REMAINING UNCOVERED FOR MORE THAN 14 DAYS. GRAVEL SHALL NOT BE CONSIDERED AS COVER.
 7. ALL AREAS USED TO TEMPORARILY STORE TOPSOIL OR OTHER ORGANIC MATERIAL SHALL BE PROTECTED FROM EROSION ACCORDING TO THE DETAIL ON THIS DRAWING. THESE AREAS ARE TO REMAIN IN PLACE FOR LONGER THAN 14 DAYS THEY SHOULD BE SEEDED AND MULCHED TO ESTABLISH SOFT-GROUND COVER.
 8. ALL SLOPES ON THE PROJECT SHOULD BE STABILIZED WITH SEED AND MULCH OR EROSION CONTROL MATS AS SOON AS FINAL GRADING OPERATIONS HAVE CEASED.
 9. AREAS OF DISTURBED SOILS MUST BE STABILIZED WITHIN 7 DAYS IF SLOPE IS 50% OR GREATER.

- EROSION CONTROL NOTES**
1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXCESS SILT FROM SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DETOURS AT THE COMPLETION OF CONSTRUCTION.
 3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING CULMETS, PIPES, ETC., PRIOR TO COMPLETION OF THIS PROJECT.
 4. EROSION CONTROL SHALL BE PROVIDED FOR ALL CUT AND FILL OPERATIONS WITHIN THE LIMITS OF THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT THE SITE WITH THE MAXIMUM PROTECTION FROM EROSION AT ALL TIMES.
 5. EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY GRADING ON-SITE AND ARE TO BE MAINTAINED IN PLACE UNTIL STABILIZATION OF SCHEDULED SOILS HAS BEEN ACCOMPLISHED.

- EPSC PHASING**
1. INSTALL CONSTRUCTION ENTRANCE/EXIT.
 2. INSTALL SILT FENCE @ DOWNSLOPE AREAS.
 3. MUST BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF GRADING PERMIT.
 4. COMMENCE GRADING OPERATIONS.



12 CONSTRUCTION ENTRANCE/EXIT

13 SILT FENCE

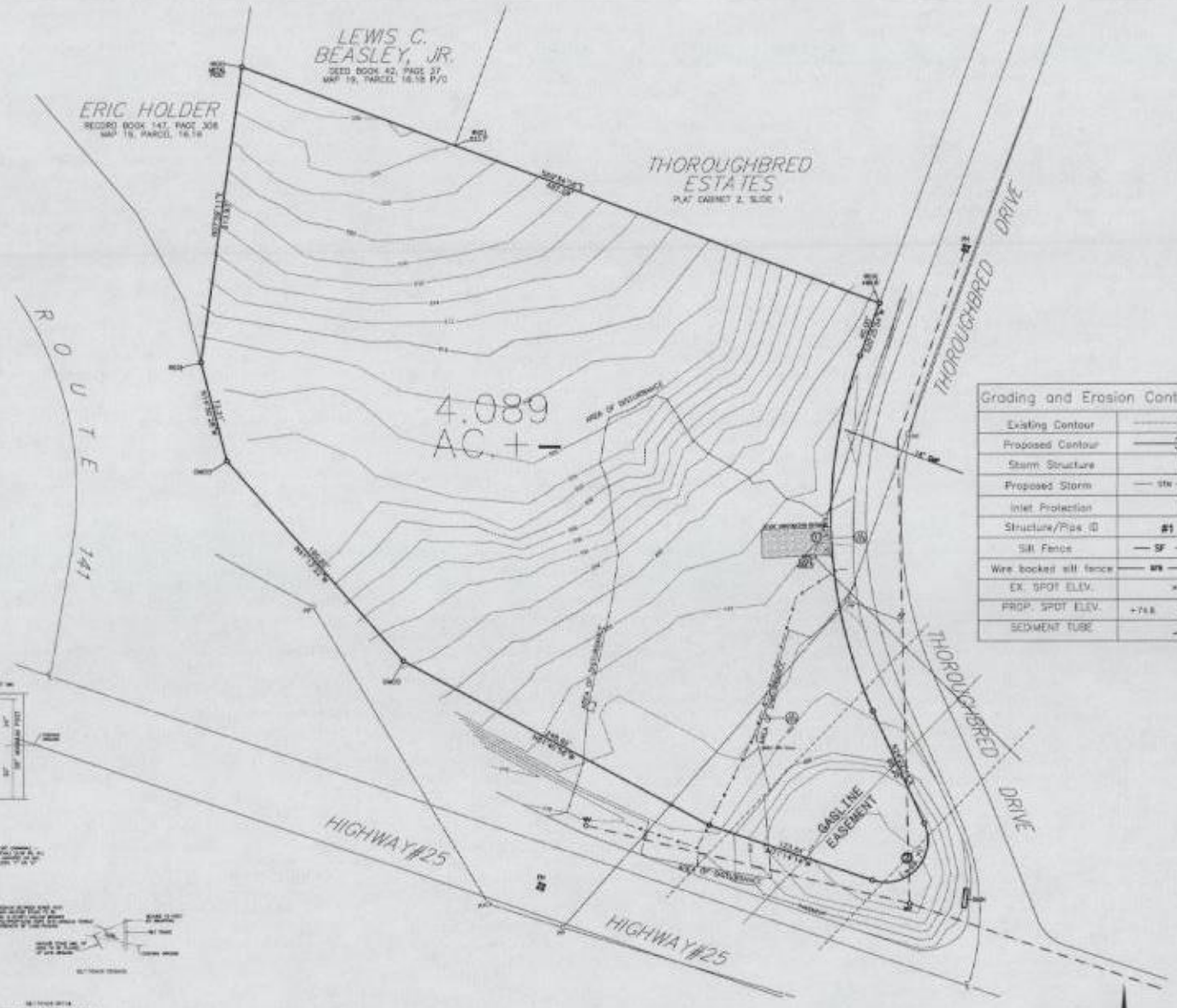
THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.

Bullet Legend

1.4	Detail #1.4
C-3.0	Scale 3.0

TOTAL AREA OF DISTURBANCE= .98 AC. +/-
EX. IMPERVIOUS AREA= 0.00 AC. +/-
PROP. IMPERVIOUS=.46 AC. +/-

FLOODPLAIN NOTE: THIS SITE LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA COMMUNITY PANEL 47169C0043C DATED SEPTEMBER 29, 2010.



Grading and Erosion Control Legend

Existing Contour	---	345
Proposed Contour	---	345
Storm Structure	■	
Proposed Storm	---	10M
Inlet Protection	□	
Structure/Pipe ID	#1	Ø
Silt Fence	---	SF
Wire backed silt fence	---	WB
EX. SPOT ELEV.		+479.6
PROP. SPOT ELEV.		+71.8
SEDIMENT TUBE	---	





SEAL

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HARTSVILLE, TN 37074
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WWW.MBACIVIL.COM

FAST PACE HEALTH
HIGHWAY 25/THOROBRED DRIVE
HARTSVILLE, TN 37074

PROJECT: _____
DESIGN DATE: _____
DATE: **JUNE 14, 2022**
SCALE: **C-4.0**
SHEET: **6**
DATE: 22011

- SHOULDER AND DRAINAGE ACCESS**
1. THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES (POWER, SANITARY, STORM, SEWER, TELEPHONE, CABLE, TELEVISION, GAS, AND ANY OTHER MISCELLANEOUS UNDERGROUND UTILITIES, DEVICES, OR STRUCTURES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF THE BASE COURSE ASPHALT.
 2. THE CONTRACTOR SHALL CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE SMOOTH FIT AND CONTINUOUS DRIVE.
 3. THE CONTRACTOR SHALL REPORT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM DRAIN STRUCTURES, PIPES AND ALL COLLECT POINT TO CONSTRUCTION.
 4. CLEARING AND GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATION.
 5. ANY GRADING OR DISTURBED AREAS SHALL HAVE A MINIMUM 4% SLOPE TO NEAREST, SIZED MAINTENANCE ROAD AND WATER APPROVED DRAINAGE SYSTEM. ALL SLOPES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THESE SLOPES THROUGHOUT CONSTRUCTION.
 6. THE EXISTING SOIL MATERIALS MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE OWNER OR DEVELOPER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE ADEQUATE THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 7. A SEPARATE E.O.B. FORM ISSUED BY THE CITY OF HARTSVILLE WILL BE REQUIRED FOR EXCAVATION AND CONSTRUCTION OF THE PUBLIC E.O.B.
 8. LANDSCAPE PLANNING SPACES AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED AND SLOPED IN ACCORDANCE WITH ALL PRESCRIPTIONS OF THE ADA.
 9. IN THOSE AREAS WHERE A REQUIREMENT FOR ANY UTILITY AND EXISTING OR CONSTRUCTION MUST ACCEPT ALL FROM UTILITY OWNERS, NO LESS THAN THREE AND MORE THAN TEN WORKING DAYS PRIOR TO THEIR ANTICIPATED COMPLETION. A LIST OF THESE UTILITY OWNERS MAY BE OBTAINED FROM THE COUNTY REGISTER OF RECORDS. THESE UTILITY OWNERS WHO PARTICIPATE IN THE EXCAVATION OF THE GULL SYSTEM CAN BE CONTACTED FOR MORE INFORMATION.

- GENERAL EROSION CONTROL NOTES**
1. ALL AREAS USED OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, AND RESEED AND FUR BROADCAST TO EFFECTUALLY CONTROL SOIL EROSION.
 2. A SPECIFIC MANUAL SHALL BE PRESENTED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL ON EACH TRACT SITE.
 3. A COPY OF THE EROSION CONTROL PLAN MUST BE AVAILABLE ON SITE FOR THE DMPC INSPECTOR ON REQUEST. THE LOCATION OF EACH MEASURE SHALL BE INDICATED ON THE PLAN.
 4. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATION BEGINS. THEY MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REPLACED AT THE END OF THE WORK DAY OR PRIOR TO RAINFALL EVENTS.
 5. ALL CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY NO LESS THAN 72 HOURS PRIOR AND SHALL MAINTAIN 100% OF ITS DESIGN CAPACITY AT ALL TIMES.
 6. ALL EXCAVATION AND CLEARING SHALL BE COORDINATED TO PREVENT ANY SURFACE FROM REMAINING UNPROTECTED FOR MORE THAN 74 DAYS. GRAVEL SHALL NOT BE CONSIDERED AS COVER.
 7. ALL AREAS USED TO TEMPORARILY STORE TOPSOIL OR OTHER ERODIBLE MATERIAL SHALL BE PROTECTED FROM EROSION ACCORDING TO THE DETAIL ON THIS PLAN. IF THESE AREAS ARE TO REMAIN IN PLACE FOR LONGER THAN 14 DAYS THEY SHOULD BE SEEDED AND MULCHED TO CONTROL SOIL EROSION COVER.
 8. ALL AREAS ON THE PROJECT SHOULD BE STABILIZED WITH SEED AND MULCH OR EROSION CONTROL MATS AS SOON AS FINAL GRADING OPERATIONS HAVE CEASED.
 9. AREAS OF EXPOSED SOIL MUST BE STABILIZED WITHIN 7 DAYS IF EROSION IS ONE OR GREATER EROSION CONTROL NOTES.

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SOIL FROM LEAVING THE SITE. SOIL WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXCESS SOIL FROM SITE AND ASSURING PLAIN ALIGNMENT AND GRADING IN ALL SITES AT THE COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING OUT ALL STORM DRAINAGE STRUCTURES, INCLUDING FLUMES, PIPES, ETC. PRIOR TO COMPLETION OF THE PROJECT.
4. EROSION CONTROL SHALL BE PROVIDED FOR ALL CUT AND FILL OPERATIONS WITHIN THE LIMITS OF THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT THE SITE WITH THE MAXIMUM PROTECTION FROM EROSION AT ALL TIMES.
5. EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY GRADING ON-SITE AND ARE TO BE MAINTAINED IN PLACE UNTIL STABILIZATION OF ERODIBLE SOILS HAS BEEN ACCOMPLISHED.

Bullet Legend

16	Circle #14
17	Square #12.0

Grading and Erosion Control Legend

Existing Contour	----- 345 -----
Proposed Contour	----- 345 -----
Storm Structure	■
Proposed Storm	--- 34 --- 34 ---
Water Protection	□
Structure/Pipe ID	#1 #2
SR Fence	--- 34 --- 34 ---
Wire Stocked SR Fence	--- 34 --- 34 ---
EX. SPOT ELEV.	476.0
PROP. SPOT ELEV.	474.0 472.0 470.0
SEDIMENT TUBE	~

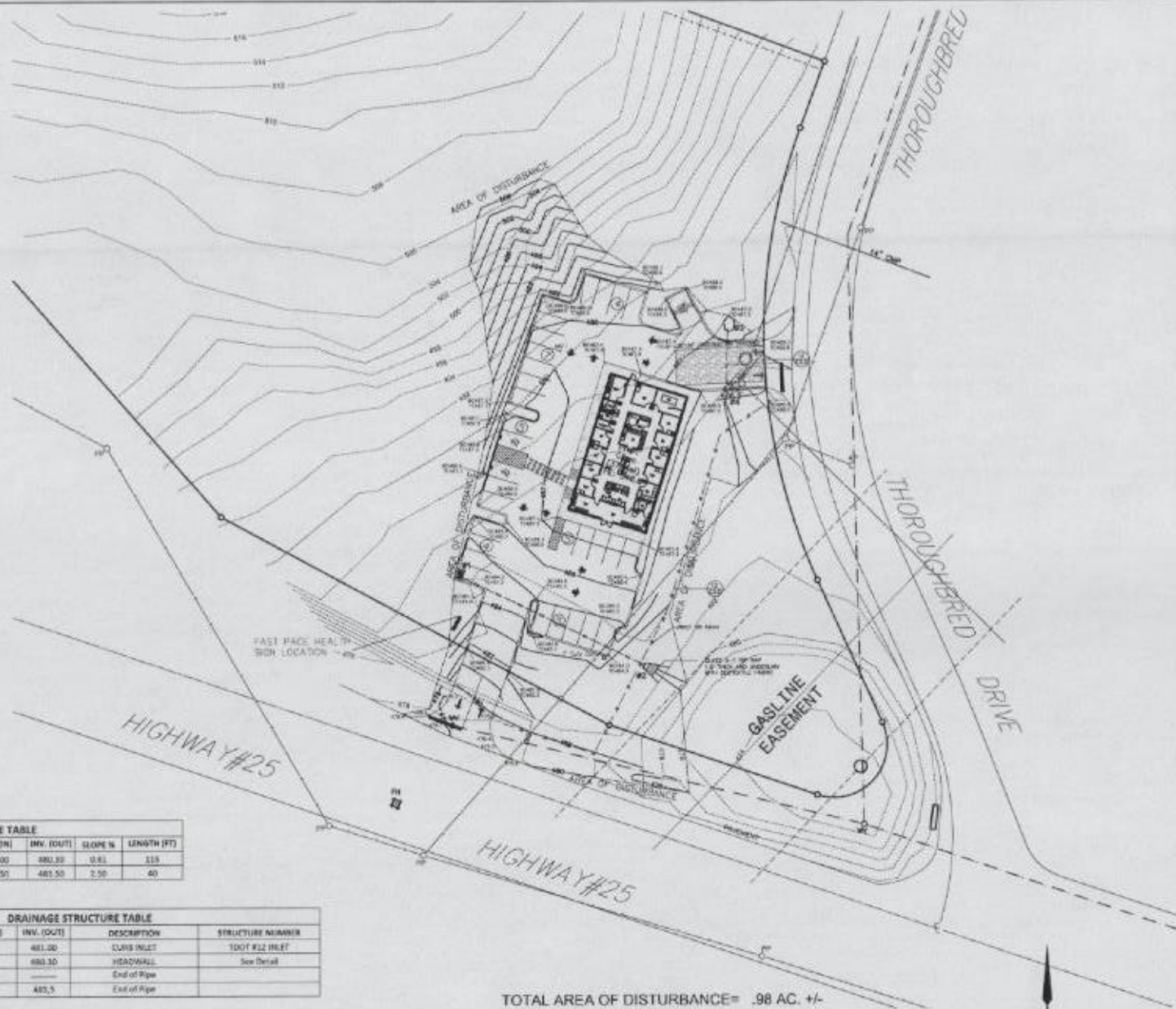
PIPE TABLE

PIPE	SIZE/TYPS	INV. (IN)	INV. (OUT)	SLOPE %	LENGTH (FT)
A	15" HP STORM	481.00	480.30	0.83	515
B	15" HP STORM	484.50	483.50	2.30	40

DRAINAGE STRUCTURE TABLE

STR #	T.O.S.	INV. (IN)	INV. (OUT)	DESCRIPTION	STRUCTURE NUMBER
1	484.00	---	481.00	CURB INLET	TOOT #22 INLET
2	---	---	480.30	HEADWALL	See Detail
3	---	484.50	---	End of Pipe	---
4	---	---	483.5	End of Pipe	---

DESCRIPTION	DRAINAGE AREA (AC)	% Impervious C = 35	% Open Space C = 25	Composite Coefficient	Velocity (ft/s)	Q (cfs)
Pre Runoff to ROW	0.2	0%	100%	0.25	0.73	0.84
Post Runoff to ROW	0.13	25%	75%	0.43	0.73	0.31



TOTAL AREA OF DISTURBANCE= .98 AC. +/-
EX. IMPERVIOUS AREA= 0.00 AC. +/-
PROP. IMPERVIOUS= .46 AC. +/-

FLOODPLAIN NOTE: THIS SITE LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA COMMUNITY PANEL 47169C0043C DATED SEPTEMBER 29, 2010.



THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE ENGINEER/OWNER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



SEAL

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1000 N. W. 10th St., Suite 1000, Ft. Lauderdale, FL 33304

FAST PACE HEALTH
HIGHWAY 25/THOROBRED DRIVE
HARTSVILLE, TN 37074

PROJECT	
REVISIONS	
DATE	JUNE 18, 2022
DRAWN	C-5.0
CHECKED	6
DATE	2021

- GENERAL NOTES**
1. THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES (WATER, SANITARY, SEWER, STORM SEWER, ELECTRICAL, COMM. UTILITY, FIBER, AND ANY OTHER UNDEGROUND UTILITIES DETECTED ON SITE) PRIOR TO THE PLACEMENT OF THE BRIDGE COLUMN MATINGS.
 2. THE CONTRACTOR SHALL CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE SMOOTH FIT AND CONTINUOUS DRIVE.
 3. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 4. CLEARING AND DRIVING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY DRIVING OPERATIONS.
 5. ANY GRADES OR EXISTING AREAS SHALL HAVE A MINIMUM OF 2% SLOPE, 2% MINIMUM PERCENTAGE AND MUST BE MAINTAINED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THE RESTORATION SHALL FOLLOW CONSERVATION.
 6. THE EXISTING SOIL MATERIALS SHOULD NOT BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR AFTER CONSTRUCTION. THE RESULT OF SOIL TESTING OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITION AND CORRELATE WITH A GEOTECHNICAL REPORT OR OTHER GRADED RECORD AS BE SEEM APPROPRIATE TO ASSURE PROPERITY THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 7. A STABLE SOIL TEST SHALL BE OBTAINED BY THE CITY THAT WILL BE REQUIRED FOR EXISTING AND CONSTRUCTION IN THE PUBLIC R.O.W.
 8. MINIMUM PARKING SPACES AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED AND SLOPED IN ACCORDANCE WITH ALL PROVISIONS OF THE ADA.
 9. IN THE EVENT IT IS A REQUIREMENT FOR THE ANYONE WHO CHANGES IN JURISDICTION MUST NOTIFY ALL AFFECTED AGENCIES, AT LEAST 30 DAYS PRIOR TO ANY CHANGES. A LIST OF THESE AGENCIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THESE AGENCIES MUST PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM OR BE NOTIFIED 30 DAYS PRIOR TO ANY CHANGES.

- GENERAL EROSION CONTROL NOTES**
1. ALL BARE SOIL OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MOWED, AND SEEDED, AND FOR SOONER TO EFFECTIVELY CONTROL SOIL EROSION.
 2. A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL ON EACH PROJECT SITE.
 3. A COPY OF THE EROSION CONTROL PLAN MUST BE AVAILABLE ON-SITE FOR THE DMRV INSPECTOR ON REQUEST. SEE SCHEDULED LOCATIONS ON PLAN.
 4. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATIONS BEGINS AND MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REPLACED AT THE END OF THE WORK DAY, OR PRIOR TO RAINFALL EVENTS.
 5. ALL CONTROL MEASURES SHALL BE CHECKED TWICE WEEKLY AT LEAST EVERY 10 HOURS APART AND SHALL MAINTAIN 50% OF ITS DESIGN CAPACITY AT ALL TIMES.
 6. ALL EXCAVATING AND CLEARING SHALL BE CONDUCTED TO PREVENT ANY SURFACE FROM REMAINING UNPROTECTED FOR MORE THAN 14 DAYS. SODS SHALL NOT BE CONSIDERED AS COVER.
 7. ALL AREAS LEFT TO TEMPORARILY STORE DIRT, SPILLS, OR OTHER DRAINABLE MATERIALS SHALL BE PROTECTED FROM EROSION ACCORDING TO THE DETAIL ON THIS PLAN. IF THESE AREAS ARE TO BE LEFT IN PLACE FOR LONGER THAN 14 DAYS THEY SHOULD BE SEEDED AND MULCHED TO ESTABLISH GOOD GROUND COVER.
 8. ALL DISTURBED AREAS ON THE PROJECT SHOULD BE REVEGETATED WITH SODS AND WHICH ON EROSION CONTROL MEASURES AS NOTED AS PER DRIVING OPERATIONS HAVE BEEN COATED.
 9. AREAS OF DISTURBED SOILS MUST BE STABILIZED WITHIN 7 DAYS IF SLOPE IS 5% OR GREATER.

- EROSION CONTROL NOTES**
1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING SITE. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REMAINING PROTECTED SLOPE FROM SITE AND ASSURING PLAN ALIGNMENT AND GRADE AT ALL TIMES AT THE COMPLETION OF CONSTRUCTION.
 3. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING OUT ALL STORM DRAINAGE STRUCTURES INCLUDING FLUMES, PIPES, ETC., PRIOR TO COMPLETION OF THIS PROJECT.
 4. EROSION CONTROL SHALL BE PROVIDED FOR ALL CUT AND FILL OPERATIONS WITHIN THE LIMITS OF THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PERIOD TO PROTECT THE SITE WITH THE MAXIMUM PROTECTION FROM EROSION AT ALL TIMES.
 5. EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO ANY GRADING ON-SITE AND ARE TO BE MAINTAINED IN PLACE UNTIL STABILIZATION OF PROPOSED SOILS HAS BEEN ACCOMPLISHED.

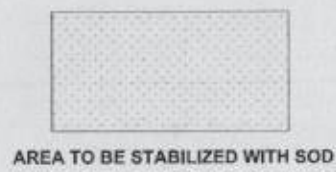
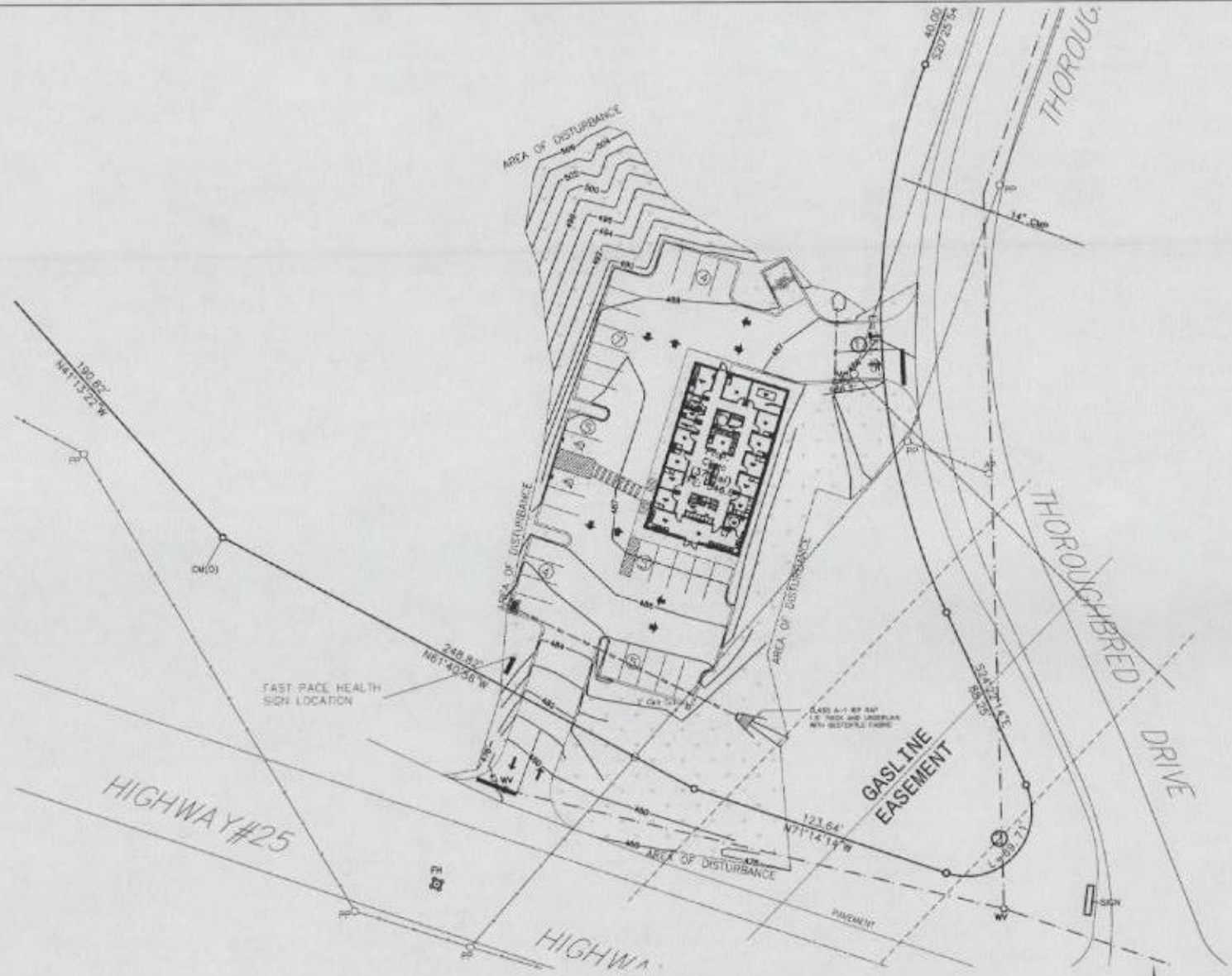
Grading and Erosion Control Legend

Existing Contour	----- 345
Proposed Contour	----- 345
Storm Structure	■
Proposed Storm	--- STM --- STM ---
Inlet Protection	□
Structure/Pipe ID	#1
Site Fence	--- SF --- SF ---
Wire-backed site fence	--- WB --- WB ---
EX. SPOT ELEV.	x 478.4
PROP. SPOT ELEV.	+ 74.5
SEDIMENT TUBE	—

Bullet Legend

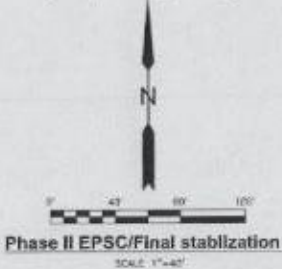
1:6	Detail #1:1
C2.0	Sheet 12.0

THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND REQUIREMENTS. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



TOTAL AREA OF DISTURBANCE= .98 AC. +/-
EX. IMPERVIOUS AREA= 0.00 AC. +/-
PROP. IMPERVIOUS= .46 AC. +/-

FLOODPLAIN NOTE: THIS SITE LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA COMMUNITY PANEL 47158C0043C DATED SEPTEMBER 29, 2010.



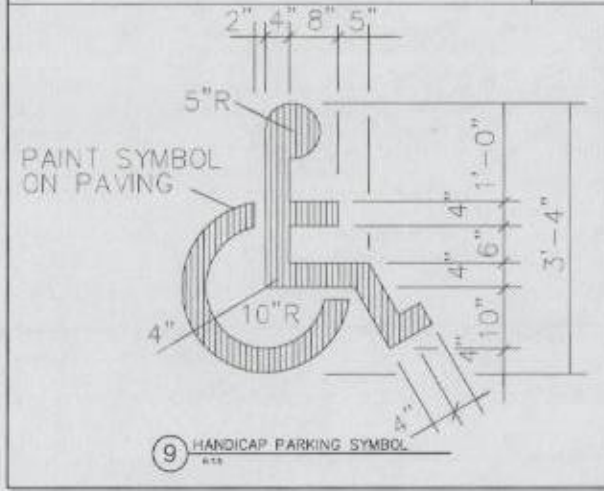
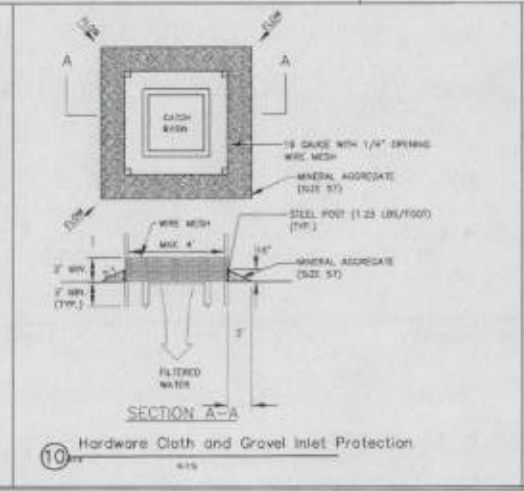
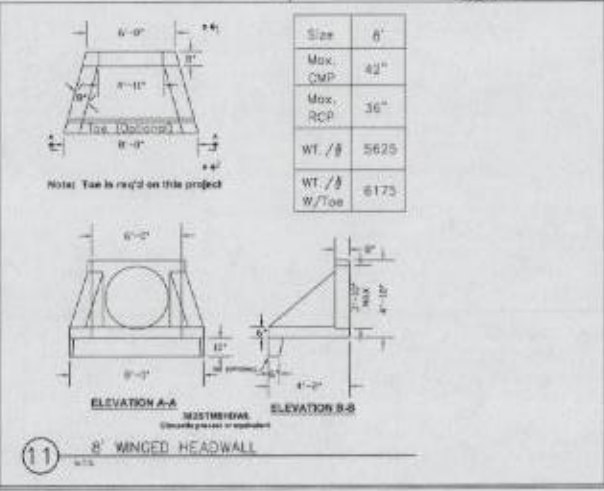
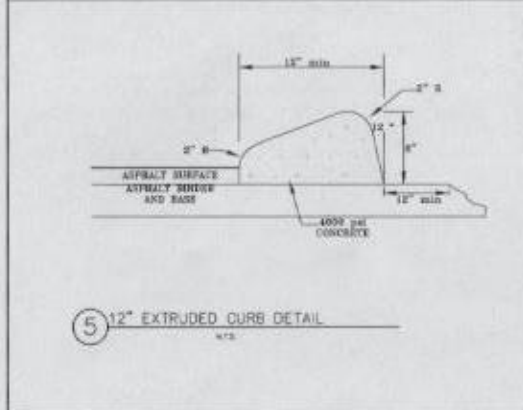
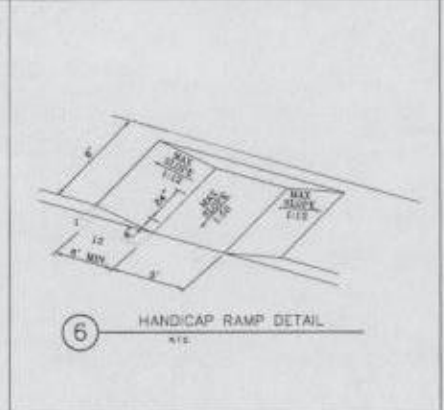
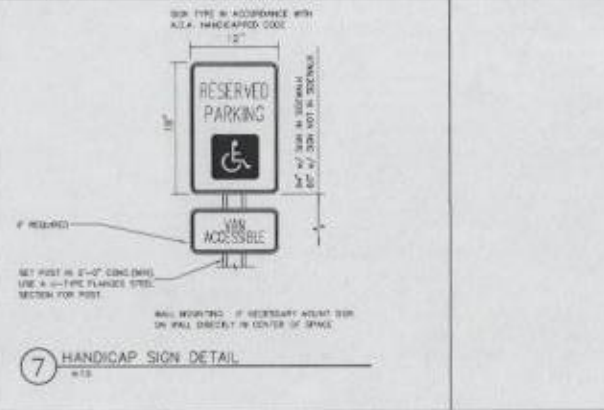
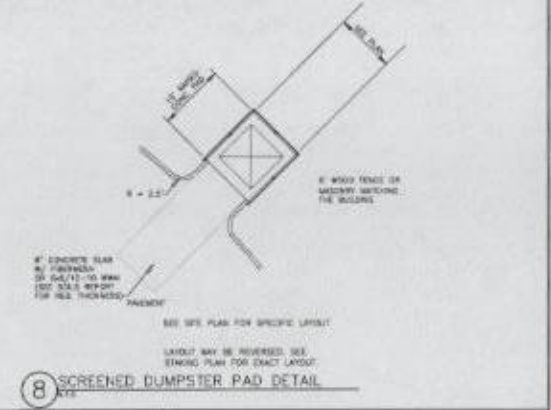
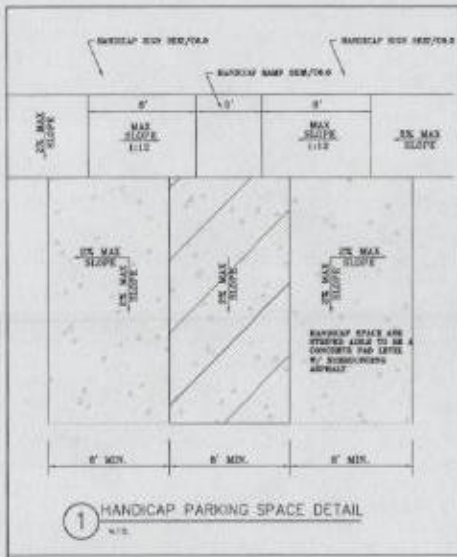
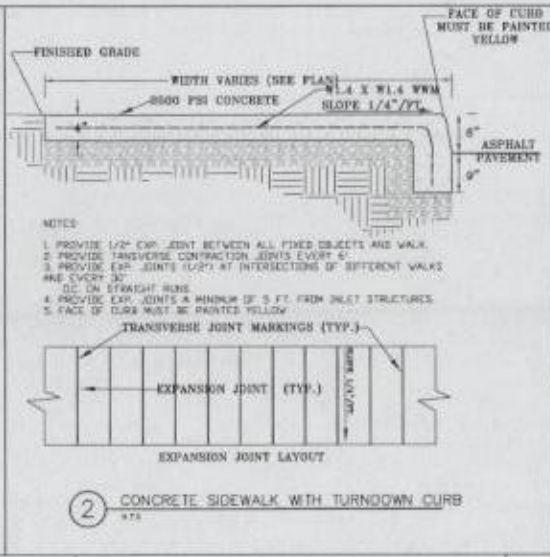
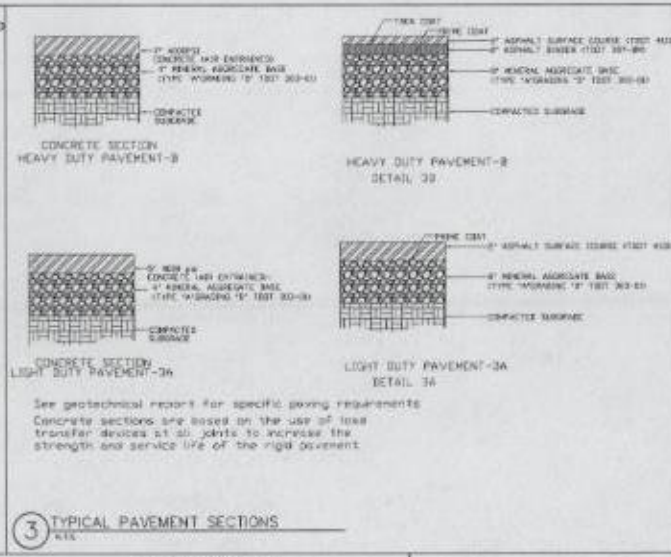
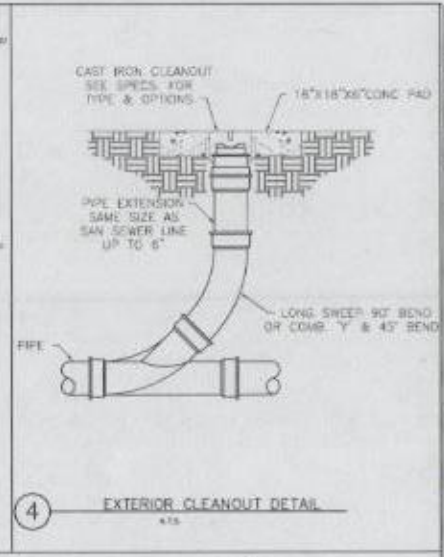


MB CIVIL
ENGINEERING, LLC
1000 Highway 25, Hartsville, TN 37074
Phone: 615-481-1111
Fax: 615-481-1112
www.mbcivil.com

FAST PACE HEALTH
HIGHWAY 25/THOROBRED DRIVE
HARTSVILLE, TN 37074

PROJECT	
ISSUE DATE	
DATE	JUNE 14, 2022
PROJECT NO.	C-6.0
SHEET NO.	6
DATE	22011

DETAILS
NO SCALE

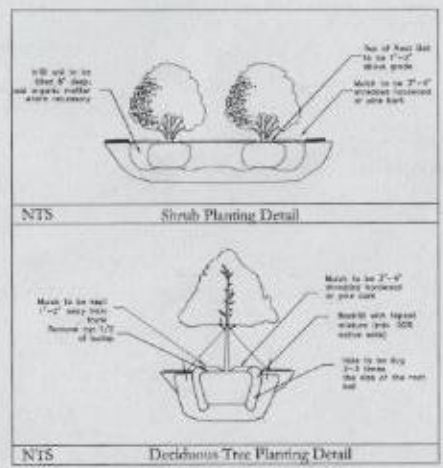
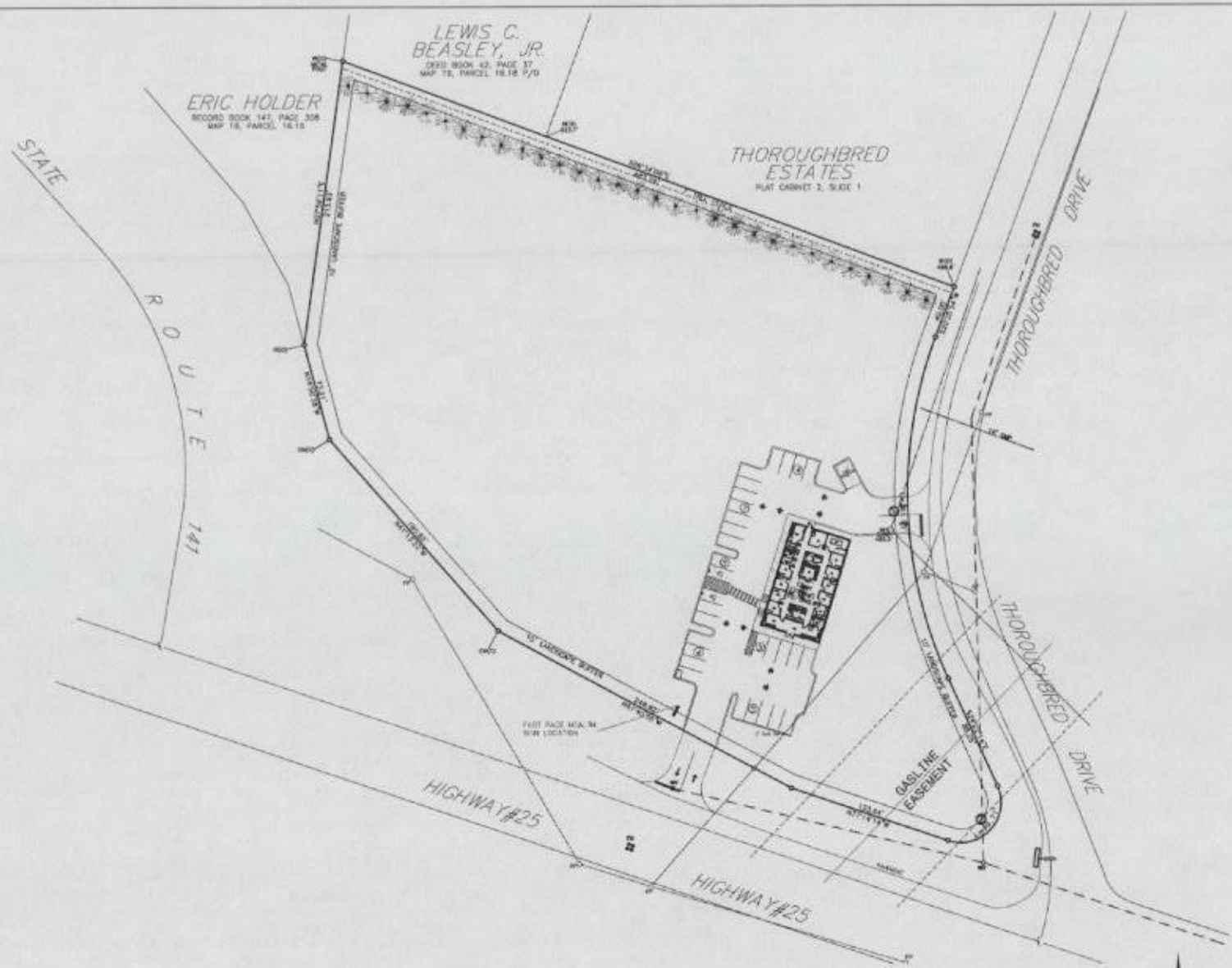




MB CIVIL
ENGINEERING, LLC
415 HARTSBERRY AVENUE, SUITE 200, HARTSVILLE, TN 37074
TEL: 615-295-5877 FAX: 615-295-5877

FAST PACE HEALTH
HIGHWAY 25/THOROUGHRED DRIVE
HARTSVILLE, TN 37074

PROJECT	
AREA/DWG	
DATE	JUNE 14, 2002
SCALE	C-5.0
NO.	5
DATE	20011



Symbol	Common Name	Botanical Name	Spacing	Size	Quantity
	Leyland Cypress	CUPRESSOCYPARIS LEYLANDII	as shown	3.5 gal	11



THE SITE AS SHOWN ON THESE CONSTRUCTION DRAWINGS IS INTENDED TO ACHIEVE SPECIFIC ENGINEERING DESIGN CRITERIA AND OBJECTIVES. IT IS THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE THAT THE CONSTRUCTION OF THE SITE SHOWN ON THESE CONSTRUCTION DRAWINGS IS IN TOTAL ACCORDANCE WITH THE DESIGN AS NOTED, DESCRIBED, AND ILLUSTRATED. THE ENGINEER ASSUMES NO RESPONSIBILITY IN THE ASSURANCE THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION PLANS.



Line	Material	Support	Length	Date	Drawn	Checked
1	3/4" GALV	3/4" GALV	41.00'	11/27/18	S. BOY	S. TIGHE/11/8

Parcel	Area	Perimeter
1	7.15 AC. ±	1,127.4'

LOCATION SKETCH n.t.s.



B & D CONSTRUCTION, LLC
 RECORD BOOK 10, PAGE 385
 MAP 13-A, PARCELS A-1.00 & A-1.01
 ZONED C-1

KENNETH ROY HENRY
 RECORD BOOK 85, PAGE 282
 MAP 18, PARCELS 13.00
 ZONED A-1

ANTHONY & ANTHONY, TRUSTEES
 RECORD BOOK 74, PAGES 514, 515, 516 & 517
 MAP 13-B, PARCELS A-1.02
 ZONED C-1

SELLARS COMMEMORATIVE SOLUTIONS, LLC
 RECORD BOOK 121, PAGE 400
 MAP 19, PARCELS A-1.03
 ZONED C-1

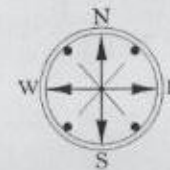
SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS IS A CORRECT & ACCURATE REPRODUCTION OF THE ORIGINAL SURVEY AS SHOWN TO ME BY THE SURVEYOR.



GARMAN SURVEYING
 1000 W. MAIN ST.
 MEMPHIS, TN 38103

STANLEY HOLDER
 RECORD BOOK 80, PAGE 362
 MAP 18-46, PARCELS A-1.04 & A-1.05
 ZONED C-1

OLDHAM ENTERPRISES, LLC
 RECORD BOOK 82, PAGE 658
 MAP 19-M, PARCELS A-1.00 P/O
 ZONED B-1



NOTES:

1. PROPERTY IS ZONED B-1
2. OWNER: OLDHAM ENTERPRISES, LLC, 2015 HIGHWAY 28 WEST, MARTINSVILLE, TENNESSEE, 37074
3. 10 - 1 STORY UNITS PROPOSED
4. EACH BUILDING TO CONTAIN 2000 SQUARE FEET - 4 BUILDINGS TOTAL OF 8,000 SQUARE FEET OR 0.022% OF TOTAL AREA.
5. EACH UNIT TO HAVE A MINIMUM OF 2 PARKING PLACES.

SITE PLAN FOR

OLDHAM ENTERPRISES, LLC

LOCATED IN THE 7TH CIVIL DISTRICT OF TRIGG COUNTY, TENNESSEE

SCALE : 1" = 50'
 DATE : JUNE 20, 2022
 SIZE : 7.15 AC. ±
 DEED : R. B. 82, PG. 658, R.O.T.C.T.
 MAP : MAP 19-M, PAR. A-1.00 P/O, T.A.O.T.C.T.

HARTSVILLE/TROUSDALE COUNTY
Sam Edwards | Zoning & Building Inspector

328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | fax (615) 374-0558

ZONING CHANGE

PARCEL INFORMATION

Current Zoning R-3 Requested Zoning I-1 Reason Restore I-1 zoning for addition
Property Owner 113 Planters Street LLC Phone ()
Property Address Harpers Ave Hartsville TN 37074
Lot Size 2.31 acres Road Frontage _____ ft. Easements _____ ft
Tax Map Number 019K Group B Parcel 24.03 Record/Deed Book _____
Subdivision Name _____ Phase _____ Lot # _____
Water Source city Sewer or Septic sewer

APPLICANT INFORMATION

Applicant Name 113 Planters Street LLC Phone _____
Mailing Address Harpers Ave Hartsville TN 37074
Email _____

IMPACT INFORMATION

Zoning of Surrounding Properties C-2, I-1, R-1
Names of Surrounding Property Owners JERRY GAMMON, Hartsville TROUSDALE GOV'T,
william Lyles, ROSALE MYHAN, GJB Properties, MICHAEL REESE, Keby EVERET
Affected Roads HARPER AVE, PLANTERS ST
Schools Affected _____
Public Utilities HARTSVILLE WATER, TRI County ELECTRIC

ACTION TAKEN

Reviewed by Planning Commission _____ Action _____
Reviewed by BZA _____ Action _____
Zoning Ordinance at County Commission
1st Reading _____ Action _____
Public Hearing _____ Action _____
2nd Reading _____ Action _____
Passed _____ Failed, state reason _____

[Signature] Applicant Signature 6/22/2022 Date Submitted

\$100 Application fee

Trousdale County - Parcel: 019K B 024.03



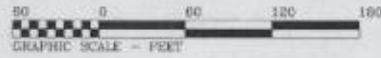
Date: June 29, 2022
County: Trousdale
Owner: 113 PLANTERS STREET LLC
Address: HARPER AVE
Parcel Number: 019K B 024.03
Deeded Acreage: 0
Calculated Acreage: 2.31
Date of Imagery: 2017

Rezone R-3 to I-1

State of Tennessee, Comptroller of the Treasury, Department of Property Assessment (DPA) – Geographic Services
TDOT

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

LOCATION SKETCH n.t.s.



HARTSVILLE/TROUSDALE COUNTY

RECORD BOOK 87, PAGE 489
RECORD BOOK 113, PAGE 221
MAP 19-K, PARCEL B-26.00

MARY HOWELL
DEED BOOK 23, PAGE 172
MAP 19-K, PARCEL B-24.01

WILLIAM D. LYLES, JR.
RECORD BOOK 83, PAGE 782
MAP 19-K, PARCEL B-23.00

ROSALIE MYHAN
DEED BOOK 33, PAGE 128
MAP 19-K, PARCEL B-22.00



Curve	Radius	Tangent	Length	Delta	Chord	Chord Dist.
1	100.00'	11.46'	33.58'	12.00° W	32.84'	S 89°23' W
2	34.30'	24.39'	55.11'	44°30' E	46.50'	S 30°53'23" W

G & B PROPERTIES
RECORD BOOK 113, PAGE 368
MAP 19-K, PARCEL B-19.00

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1
SURVEY, AND THAT THE SAID SURVEYOR IS AT LEAST
1 : 10,000 AS SHOWN HEREIN.

BUILDING LOCATION EXHIBIT OF 113 PLANTERS STREET

LOCATED IN THE 7TH CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

SCALE : 1" = 60'

DATE : JUNE 2, 2020 REVISED 8-30-22

DEED : R. B. 129, PG. 54, R.O.T.C.T.
: R. B. 151, PG. 262, R.O.T.C.T.

MAP : MAP 19-K, PARS. B-24.00
& B-24.03, T.A.O.T.C.T.

CARROLL CARMAN, SURVEYING
105 HURDLE HORN ROAD
HARTSVILLE, TENNESSEE
PHONE: (615) 371-2244

JERRY GAMMON
DEED BOOK 63, PAGE 182
RECORD BOOK 55, PAGE 78
MAP 19-K, PARCEL B-1.00

MICHAEL W. REESE
FAMILY LP
DEED BOOK 54, PAGE 511
MAP 19-K, PARCELS B-4.00 & B-5.00

HARPER AVENUE
UNIMPROVED EXTENSION OF HARPER AVENUE

REED R.
WORKING
RECORD BOOK 113, PAGE 588
MAP 19-K, PARCEL B-6.00

KENNY
LINVILLE
DEED BOOK 54, PAGE 394
MAP 19-K, PARCEL B-7.00

BP PROPERTIES
RECORD BOOK 82, PAGE 281
MAP 19-K, PARCELS B-7.01 & 7.02

ERIC HOLDER
RECORD BOOK 83, PAGE 382
MAP 19-K, PARCEL B-8.00

WAYNE
PRYOR
RECORD BOOK 81, PAGE 823
MAP 19-K, PARCEL B-9.01

DENNIS COKE
RECORD BOOK 81, PAGE 485
MAP 19-K, PARCEL B-34.01

PLANTERS STREET

STREET

HAYES AVENUE